



Reliable Home Inspection Service  
100 Old Kennett Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Printed Tuesday, June 28, 2022

Inspected By:



Referral Information:

Client Information:



Inspected



FRONT VIEW



# Inspection Summary

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Wilmington, DE 19807  
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## Major Defect

### GROUNDS

#### 0208: Driveway/Parking Lot

Final coat was not installed at time of inspection.  
Recommend to client to request documentation on completion date.



### BASEMENT

#### 1506: Basement Floor

There was water standing on the basement floor at the time of the inspection and the source of the water should be identified and all needed repairs be made.



# Major Defect



## BASEMENT

### 1508: Basement Structural Columns Visible Primary Type

The column is a temporary support and not properly footed and the system should be evaluated by a qualified contractor and all needed repairs should be made.



# Major Defect

## BASEMENT

### 1511: Basement Ceiling Joist Visible Primary Type

Compromised truss was noted on right wall and should be evaluated and repaired.



## ATTIC

### 2005: Attic Structural Framing Type

Damaged gusset plate was noted and should be repaired.

The repair will require plan and documentation from. Truss engineer and repair document should be provided and recommend a copy be attached to repair. Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Broken gusset plate on left wall in master bedroom.

## Major Defect



Broken gusset plate on left wall in master bedroom.



## INTERIOR

### 2101: INTERIOR ROOMS

Missing nail plates left of garage door were noted and should be installed.

Drain pipe outside of wall cavity in half bath was noted and should be repaired.

Drain pipe outside of wall cavity in half bath was noted and should be repaired.

Doorway framing into kitchen not flush and should be repaired.

Exposed nail noted right of basement stairs and should be repaired.

Cut/compromised truss/joist on right wall in kitchen and should be evaluated and repaired.

Gap in exterior wall noted in master bathroom closet and should be sealed prior to drywall and insulation installation.

Missing nail plates were noted in master bathroom tub/shower and should be installed.

Scuffed/damaged subfloor in master bedroom and should be repaired.

Poorly installed nailer was noted in 2nd floor middle right room and should be repaired.

Poorly framed stud on 2nd floor left wall in stairwell and should be repaired.

Damaged/compromised stud noted on 2nd floor bathroom wall and should be repaired. Shorted studs were noted in 2nd floor bathroom and should be repaired.

Cracked/damaged king stud as well as exposed nails were noted on 2nd floor front left bedroom and should be repaired.



Missing nail plates left of garage door were noted and should be installed.

## Major Defect



Drain pipe outside of wall cavity in half bath was noted and should be repaired.



Missing nail plates left of garage door were noted and should be installed.



Doorway framing in kitchen not flush and should be repaired.



Doorway framing in kitchen not flush and should be repaired.

## Major Defect



Exposed nail noted right of basement stairs and should be repaired.



Right wall kitchen compromised truss/joint and should be evaluated and repaired.



Missing nail plates were noted in master bathroom tub/shower and should be installed.



Gap in exterior wall noted in master bathroom closet and should be sealed prior to drywall and insulation installation.



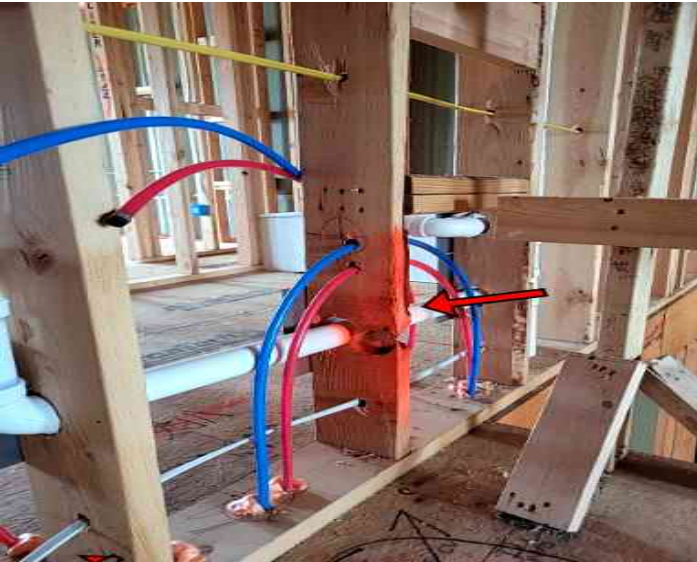
## Major Defect



Poorly installed nailer was noted in 2nd floor middle right room and should be repaired.



Scuffed subfloor in master bedroom and should be repaired.



Damaged/compromised stud noted on 2nd floor bathroom wall and should be repaired.



Poorly framed stud on 2nd floor left wall in stairwell and should be repaired.

## Major Defect



Cracked/damaged king stud as well as exposed nails were noted on 2nd floor front left bedroom and should be repaired.



Shorted studs were noted in 2nd floor bathroom and should be repaired.

## Service/Repair

### EXTERIOR

#### 0301: EXTERIOR

Some loose/tear house wrap was noted and should be sealed/taped prior to siding installation.



Front elevation

## Service/Repair



Front elevation near front door

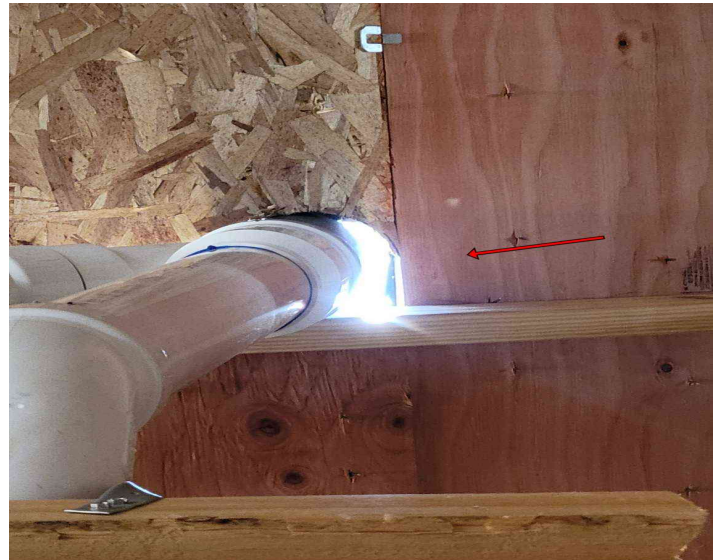


Front elevation near front door.

## ROOF

### 0501: ROOF

All vent boot and flashings should be installed prior to drywall and insulation.



## GARAGE

### 0801: GARAGE

Twisted stud noted on right wall and should be repaired.  
All open areas/gaps in exterior walls should be sealed/foamed prior to drywall installation.  
Poorly fitted and sealed blocking was noted on a rear wall and should be repaired.



Twisted stud noted on right wall and should be repaired.



Poorly fitted and sealed blocking was noted on a rear wall and should be repaired.



Gap/daylight was noted on left wall and should be repaired.



Left wall

## PLUMBING

### 1009: Interior Waste/Vent Pipes Primary Visible Type

Some water staining was noted below sewer line.  
Sewer line going through foundation wall should be sealed.  
Most piping concealed supply and drain.





## BATHROOM

### 1901: BATHROOM

Master bathroom exhaust vent duct work should be better attached.



Master bathroom exhaust vent duct work should be better attached.

## INTERIOR

### 2122: Windows

2nd floor front left bedroom window was difficult to lock and should be repaired.

Basement egress window not installed at the time of the inspection.



2nd floor front left bedroom window was difficult to lock and should be repaired.



# Inspection Definition/Limitation

## INSPECTION DEFINITIONS/LIMITATION

### 2201: Inspection Description/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct



possible defects. Unless prior consultation occurs, we cannot assist you further.

Pre drywall inspection limited and is part one of two inspections and will not be a complete inspection until finish out is completed. the primary reason for inspection is areas to be covered in drywall in this case insulation was in and limited inspection.

# INSPECTION DEFINITIONS/LIMITATION

## Inspection Description/limitation

### DEFINITION/LIMITATION

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# Inspection Report Details

## GROUNDS

**Major Defect** 0208: Driveway/Parking Lot - Asphalt

Final coat was not installed at time of inspection. Recommend to client to request documentation on completion date.

## EXTERIOR

**Service/Repair** 0301: EXTERIOR - General Comment

Some loose/torn house wrap was noted and should be sealed/taped prior to siding installation.

0303: Type of Building - Frame, 2 Story

## ROOF

**Service/Repair** 0501: ROOF - General Comment

All vent boot and flashings should be installed prior to drywall and insulation.

## GARAGE

**Service/Repair** 0801: GARAGE - General Comment

Twisted stud noted on right wall and should be repaired. All open areas/gaps in exterior walls should be sealed/foamed prior to drywall installation. Poorly fitted and sealed blocking was noted on a rear wall and should be repaired.

0802: Garage Type - 2 Car Attached

## PLUMBING

**Service/Repair** 1009: Interior Waste/Vent Pipes Primary Visible Type - PVC

Some water staining was noted below sewer line. Sewer line going through foundation wall should be sealed. Most piping concealed supply and drain.

## BASEMENT

1502: Basement Type - Full Basement

**Major Defect** 1506: Basement Floor - Cement

## BASEMENT

There was water standing on the basement floor at the time of the inspection and the source of the water should be identified and all needed repairs be made.

**Major Defect** 1508: Basement Structural Columns Visible Primary Type - Steel

The column is a temporary support and not properly footed and the system should be evaluated by a qualified contractor and all needed repairs should be made.

**Satisfactory** 1509: Basement Structural Beams Visible Primary Type - Steel

**Satisfactory** 1510: Basement Ceiling Sub Floor Visible Primary Type - Plywood

**Major Defect** 1511: Basement Ceiling Joist Visible Primary Type - Truss

Compromised truss was noted on right wall and should be evaluated and repaired.

## BATHROOM

**Service/Repair** 1901: BATHROOM - General Comment

Master bathroom exhaust vent duct work should be better attached.

## ATTIC

**Major Defect** 2005: Attic Structural Framing Type - Trusses

Damaged gusset plate was noted and should be repaired. The repair will require plan and documentation from. Truss engineer and repair document should be provided and recommend a copy be attached to repair. Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

## INTERIOR

**Major Defect** 2101: INTERIOR ROOMS - General Comment

## INTERIOR

Missing nail plates left of garage door were noted and should be installed. Drain pipe outside of wall cavity in half bath was noted and should be repaired. Drain pipe outside of wall cavity in half bath was noted and should be repaired. Doorway framing into kitchen not flush and should be repaired. Exposed nail noted right of basement stairs and should be repaired. Cut/compromised truss/joist on right wall in kitchen and should be evaluated and repaired. Gap in exterior wall noted in master bathroom closet and should be sealed prior to drywall and insulation installation. Missing nail plates were noted in master bathroom tub/shower and should be installed. Scuffed/damaged subfloor in master bedroom and should be repaired. Poorly installed nailer was noted in 2nd floor middle right room and should be repaired. Poorly framed stud on 2nd floor left wall in stairwell and should be repaired. Damaged/compromised stud noted on 2nd floor bathroom wall and should be repaired. Shorted studs were noted in 2nd floor bathroom and should be repaired. Cracked/damaged king stud as well as exposed nails were noted on 2nd floor front left bedroom and should be repaired.

### **Service/Repair** 2122: Windows - Operated

2nd floor front left bedroom window was difficult to lock and should be repaired. Basement egress window not installed at the time of the inspection.

## Inspection Description/limitation

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