



Reliable Home Inspection Service  
100 Old Kennett Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

[REDACTED]

Inspected By:  
JOHN KERRIGAN

Referral Information: [REDACTED]

H4-000007 ASHI #102225

Client Information: [REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

FRONT VIEW



# Inspection Summary

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## Major Defect

### GROUNDNS

#### 0208: Driveway/Parking Lot

Some cracks noted. Motion noted at rear corner where retaining wall is loose and damaged and all should be evaluated and repaired.

### GROUNDNS

#### 0209: Retaining Wall

Some evidence of motion and settlement and driveway retaining walls should be evaluated and repaired loose pre-cast blocks noted. wooden retaining wall.



# Major Defect

## EXTERIOR

### 0309: Masonry Walls

Some cracks and stains noted and should be evaluated by a qualified contractor and all needed repairs should be made.

Damaged areas inside and the entire wall system should be evaluated and repaired..





# Major Defect



Stains at front soffit indicate leakage



Damaged sheathing and rot noted also exposed lath

# Major Defect

## CRAWL SPACE

### 1608: Crawl Space Ceiling Sub Floor

Exposed lath on the back of Stucco where sheathing has rotted loose and missing insulation noted all exterior wall system should be evaluated in all needed repairs made and all interior damage repaired as well

Some mold/mildew was noted on subfloor surfaces and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



# Major Defect

## INTERIOR

### 2122: Windows

Condensation was noted between multiple insulated window panes all windows should be evaluated and all damaged glass replaced. Broken glass noted second floor



Upper window left side third floor



Master bedroom right side triple window



Master bedroom center window

## Major Defect



Master bedroom left window cracked

## Safety Concern

### GARAGE

#### 0811: Garage Interior Walls

Some cracks noted.

All holes should be patched for fire rating.





## Safety Concern



### 0917: Inspection Sticker

No inspection sticker in panel and should have been inspected to ensure installation met code at the time it was installed.

## ATTIC

### 2005: Attic Structural Framing Type

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Some standing noted along the front wall not wet at time of inspection and should be monitored for future leakage



Damaged .

### 2117: Smoke Detectors

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall within 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.



# Service/Repair

## GROUNDS

### 0204: Steps

Gap noted behind front steps  
Cracks and some settlement noted.



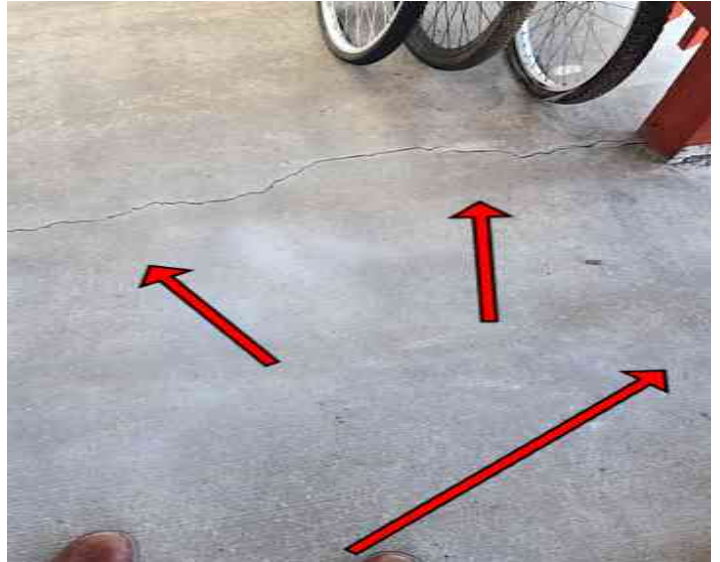
## GROUNDS

### 0205: Patio

Exposed wood where patio meets rear up home and  
should be sealed to prevent water from entering.  
some cracks noted.



## Service/Repair



### 0207: Decks

Some stains Rot and Patchwork noted

## EXTERIOR

### 0320: Caulking

Caulking should be improved.



Missing caulk joints noted

# Service/Repair

## GUTTERS

### 0405: Downspout Type

Damaged downspouts should be repaired or replaced.





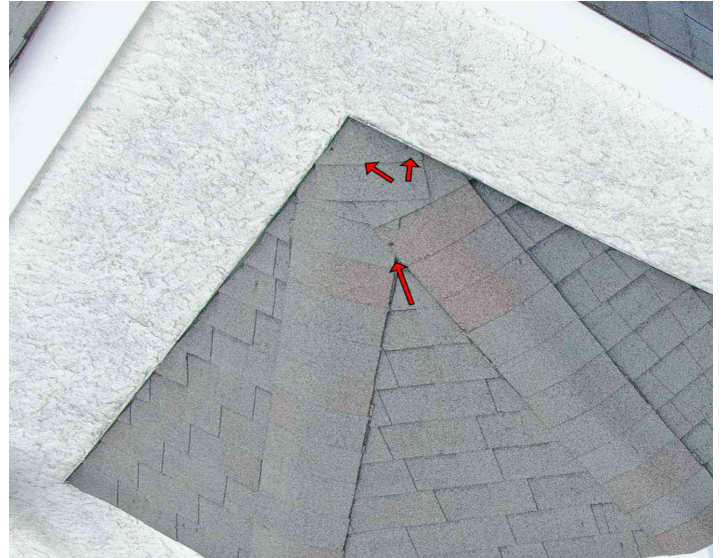
## ROOF

### 0505: Roof Covering Primary Type

Nail heads should be sealed where exposed. Roof showing wear.  
Some scuffing and aggregate loss noted and should be monitored.  
A few cracked shingles were noted and should be repaired.



Roof showing wear





# Service/Repair

## ROOF

### 0511: Plumbing Vents

Some rust noted.



## ROOF

### 0512: Skylight

Debris should be removed. and should be repaired.



## Service/Repair

### W. HEATER

#### 1107: Water Heater Fuel

Electric line should be secured



### W. HEATER

#### 1111: Temp. Pressure Relief Valve and Pipe

Should be extended to 6" above floor



#### 1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.  
Basement fully finished wall not exposed

#### 1610: Crawl Space Insulation

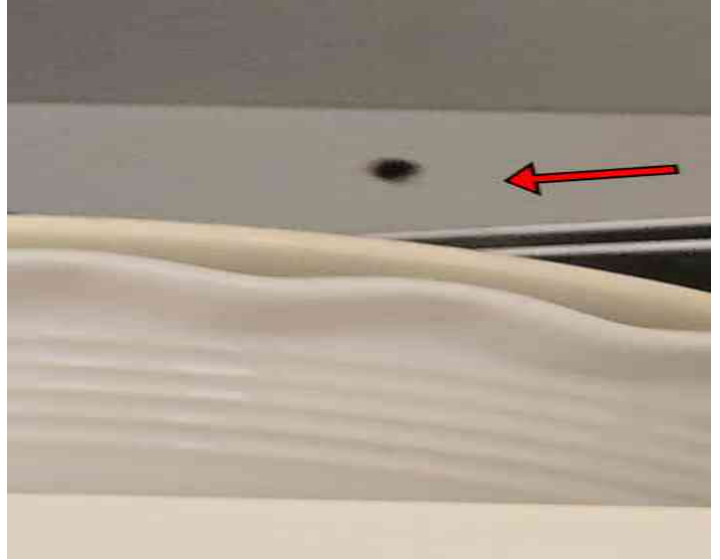
Insulation limits inspection.  
Missing insulation noted in some areas insulation May concealed further damage

# Service/Repair

## KITCHEN

### 1708: Kitchen Cabinets

Dry wall screws should be replaced with proper screws. Some damage noted.



# Service/Repair

## HALF BATH

### 1802: Half Bath Doors and Windows

Door difficult to latch



## HALF BATH

### 1811: Half Bath Sink Drain and Trap

Corrosion was noted on the drain pipes.





## Service/Repair

### ATTIC

#### 2003: Attic Entry Access

Other =

Damaged door noted and should be repaired



#### 2105: Interior Ceilings

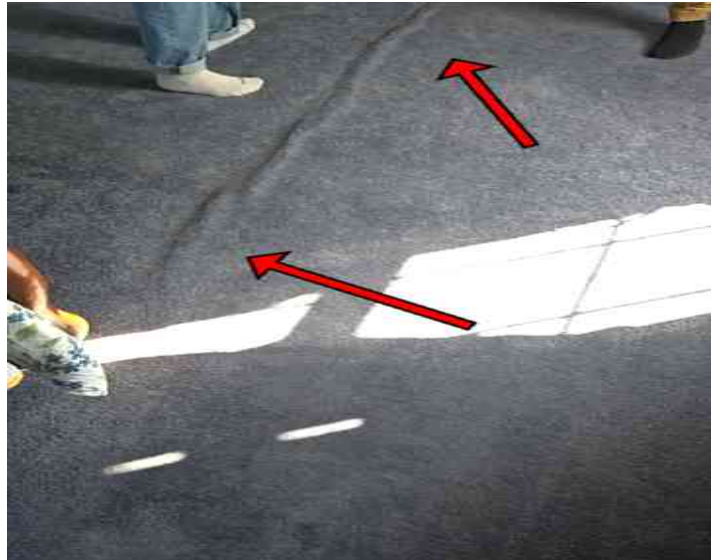
Typical drywall flaws were noted.

Some staining noted in basement ceiling but not wet a time of inspection

### INTERIOR

#### 2106: Interior Floors

Some loose carpet noted and should be repaired



# Service/Repair

## INTERIOR

### 2113: Interior Fire Place 1

Staining noted in stone on front of fireplace indicates past leakage also repair noted in sealing above this area. Ventless fireplace should be used with care.



## INTERIOR

### 2119: Stairways

Some gaps at staircases and no turned in railings and should be used with care



## Service/Repair



## Monitor/Maintain

### GROUNDS

#### 0203: Walks

Cracks and some settlement noted.

### EXTERIOR

#### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.



#### 0307: Grading

Soil should be sloped away from house to improve drainage.

#### 0310: Trim Work

Some loose paint and wood rot noted.

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

# Monitor/Maintain

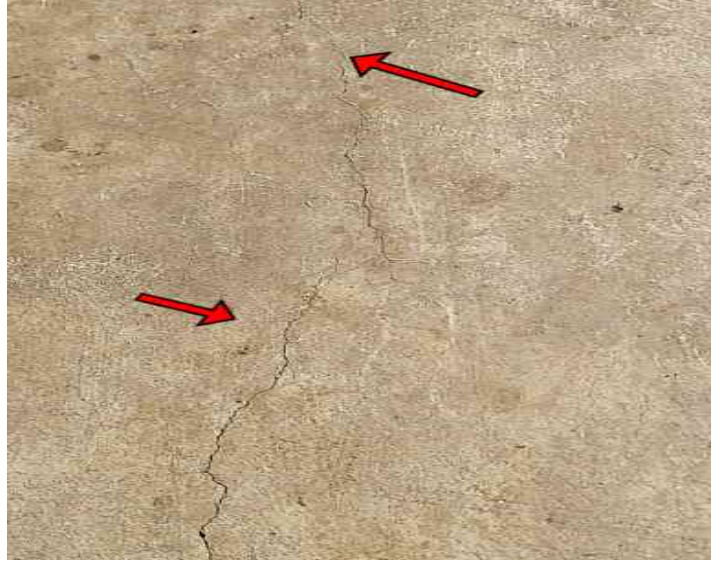
## 0408: Splash Blocks

Splash blocks or run off drains should be added.

## GARAGE

### 0813: Garage Floor

Some cracks were noted.





## Monitor/Maintain

### PLUMBING

#### 1005: Main Water Shut Off

Access is difficult



Access panel is 2 ft inside garage on right hand side

#### 1011: Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

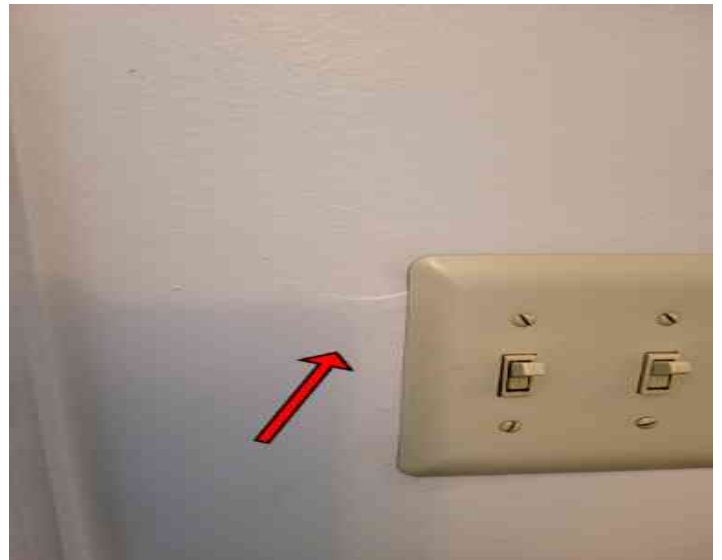
#### 1604: Crawl Space Foundation Walls

Some cracks and water penetration noted.

### BATHROOM

#### 1905: Bathroom Walls and Ceilings

Some poorly finished areas were noted.



Master bath

## Monitor/Maintain



Master bath

### 2009: Attic Insulation Thickness

Suggest adding more Insulation R-30 is suggested.

### 2104: Interior Walls

Typical drywall flaws were noted.

## Inspection Definition/Limitation

### GUTTERS

#### 0407: Runoff Drains

Location and condition of underground drains unknown.

#### 0502: How Inspected

Inspected with drone

#### 0503: Roof Access Restricted

Drone was used. The roof and roof top mounted items Chimneys, vents, HVAC equipment, etc. should be inspected before closing on property.

# Inspection Definition/Limitation

## GARAGE

### 0801: GARAGE

Garage inspection limited by heavy storage



### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

### 1601: CRAWL SPACE

No access to enter crawl spaces viewed from exterior hatches

### 1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

### 2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc. Rear finished no access.

## Inspection Definition/Limitation

### 2014: Attic Exhaust

Not visible.

### 2111: Interior Cooling Source

The outside temperature was too low to safely test Cooling Mode.

### 2112: Interior Cabinets and Shelving

Access limited by heavy storage.



## Inspection Definition/Limitation

### 2201: Inspection Description/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.



## Inspection Description/limitation

### DEFINITION/LIMITATION

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# Inspection Report Details

## GROUNDS

**Monitor/Maintain** 0203: Walks - Concrete

Cracks and some settlement noted.

**Service/Repair** 0204: Steps - Pre-Cast Cement, Concrete

Gap noted behind front steps Cracks and some settlement noted.

**Service/Repair** 0205: Patio - Concrete

Exposed wood where patio meets rear up home and should be sealed to prevent water from entering. some cracks noted.

**Service/Repair** 0207: Decks - P.T. Wood

Some stains Rot and Patchwork noted

**Major Defect** 0208: Driveway/Parking Lot - Asphalt

Some cracks noted. Motion noted at rear corner where retaining wall is loose and damaged and all should be evaluated and repaired.

**Major Defect** 0209: Retaining Wall - Pre-cast

Some evidence of motion and settlement and driveway retaining walls should be evaluated and repaired loose pre-cast blocks noted. wooden retaining wall.

**Satisfactory** 0210: Hand Rail - Wood, Steel

## EXTERIOR

**Satisfactory** 0302: Outside Outlets - Tested

**Satisfactory** 0303: Type of Building - Frame, Tri Level

**Monitor/Maintain** 0304: Exposed Foundation Primary Visible Type - Poured Concrete

Some cracks noted.

**Satisfactory** 0306: Soffit\Fascia - Vinyl, Aluminum

**Monitor/Maintain** 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

**Satisfactory** 0308: Siding - Vinyl



## EXTERIOR

**Major Defect** 0309: Masonry Walls - Stucco

Some cracks and stains noted and should be evaluated by a qualified contractor and all needed repairs should be made. Damaged areas inside and the entire wall system should be evaluated and repaired..

**Monitor/Maintain** 0310: Trim Work - Wood

Some loose paint and wood rot noted.

0311: Entry Doors - Metal

0312: Storm Doors - Aluminum

0313: Patio Doors - Sliding

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung

0316: Additional Windows - Mixed Windows

0317: Glass - Insulated

0318: Windows Storm\Screen - MFG Screens

0319: Weather Stripping - Fiber\Felt

**Service/Repair** 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

## GUTTERS

0402: Inspected From - Ground

0403: Access Restricted - Not Restricted

**Monitor/Maintain** 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

**Service/Repair** 0405: Downspout Type - Aluminum

Damaged downspouts should be repaired or replaced.

0406: Sealed Downspouts - Some

**Inspection  
Definition/Limitation** 0407: Runoff Drains - PVC, Aluminum

Location and condition of underground drains unknown.

## GUTTERS

**Monitor/Maintain** 0408: Splash Blocks - None

Splash blocks or run off drains should be added.

## ROOF

**Inspection  
Definition/Limitation** 0502: How Inspected - Drone

Inspected with drone

**Inspection  
Definition/Limitation** 0503: Roof Access Restricted - Too Steep To Walk On

Drone was used. The roof and roof top mounted items Chimneys, vents, HVAC equipment, etc. should be inspected before closing on property.

0504: Roof Style - Gable

**Service/Repair** 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

Nail heads should be sealed where exposed. Roof showing wear. Some scuffing and aggregate loss noted and should be monitored. A few cracked shingles were noted and should be repaired.

0506: Approx. Age - 20 plus

0507: Number of Layers - 1

0508: Roof Ventilation System - Ridge

0509: Flashing - Aluminum

0510: Valleys - Asphalt

**Service/Repair** 0511: Plumbing Vents - PVC

Some rust noted.

**Service/Repair** 0512: Skylight - Insulate Glass

Debris should be removed. and should be repaired.

## COOLING

0702: Cooling System 1 Brand - Goodman manufacturing

0703: Cooling System 1 Tonnage - 3.5 Ton

0704: Cooling System 1 Approx. Age - 5

0705: Heat Pump - Air to Air

## COOLING

- Satisfactory 0706: Cooling System Coils and Fins - Clean
- Satisfactory 0707: Cooling System Electrical - Ext. Disconnect
- Satisfactory 0708: Cooling Lines - Insulation
- Satisfactory 0709: Condensate Drain - Plastic
- Satisfactory 0711: Differential Temp 1 - Details

Return temp = 68 Supply temp = 124 Differential Temp =56

- Satisfactory 0712: Heat Pump 1 Backup Temp - Details

Back up temp =100

## GARAGE

- Inspection  
Definition/Limitation 0801: GARAGE - General Comment

Garage inspection limited by heavy storage

- Satisfactory 0802: Garage Type - 1 Car Attached
- Satisfactory 0803: Garage Exterior Walls - Same as House
- Satisfactory 0809: Garage Electrical System - GFCI
- Satisfactory 0810: Auto Garage Door Lift Controls - Auto Opener, Auto Safety Reverse, Electronic Eye

- Safety Concern 0811: Garage Interior Walls - Drywall\Plaster

Some cracks noted. All holes should be patched for fire rating.

- Satisfactory 0812: Garage Interior Ceiling - Drywall\Plaster

- Monitor/Maintain 0813: Garage Floor - Concrete

Some cracks were noted.

- Satisfactory 0814: Garage Doors - Overhead, Metal\Aluminum

## ELECTRIC

- Satisfactory 0902: Main Electrical Service - Underground Lateral Cable
- Satisfactory 0903: Main Electrical Service Wire - Aluminum
- Satisfactory 0905: Voltage Available - 110 / 220

## ELECTRIC

- Satisfactory 0906: Main Electrical Distribution Panel Accessibility - Typical
- Satisfactory 0907: Main Electrical Distribution Panel Location - Garage
- Satisfactory 0908: Main Electrical Disconnect - Breaker
- Satisfactory 0909: Main Panel - 200
- Satisfactory 0911: Interior Wiring Visible Primary Type - Copper 90 percent
- Satisfactory 0912: Type of Wire Visible Primary Type - Romex
- Satisfactory 0913: Grounding - Driven Rod
- Satisfactory 0914: Breakers in Use - Room for Expansion
- Safety Concern** 0917: Inspection Sticker - No Inspection Sticker in Main Panel

No inspection sticker in panel and should have been inspected to ensure installation met code at the time it was installed.

- Satisfactory 0918: Panel Schedule Filled in - Filled Out
- Satisfactory 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

## PLUMBING

- Satisfactory 1002: Water Source - Municipal
  - Satisfactory 1003: Municipal Main Supply Size - 3/4
  - Satisfactory 1004: Municipal Main Supply Type - Copper
  - Monitor/Maintain** 1005: Main Water Shut Off - Crawl Space
- Access is difficult
- Satisfactory 1006: Main Gas Valve - Outside
  - Satisfactory 1007: Interior Water Pipes Primary Visible Type - Copper
  - Satisfactory 1008: Waste System - Municipal
  - Inspection Definition/Limitation** 1009: Interior Waste/Vent Pipes Primary Visible Type - PVC

Most piping concealed supply and drain.



## PLUMBING

1010: Number of Outside Spigots - 2

1011: Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

## W. HEATER

1103: Water Heater 1 Mfg. - Bradford White

1105: Water Heater 1 Approx. Age - 5

1106: Water Heater 1 Size - 40

1107: Water Heater Fuel - Electric

Electric line should be secured

1110: Water Heater Cold Water Valve - Present

1111: Temp. Pressure Relief Valve and Pipe - Present

Should be extended to 6" above floor

1113: Water Heater Exterior Jacket - OK

## LAUNDRY

1207: Washer Drains - Trapped Line

1208: Dryer Vented - Wall

1209: Laundry Energy Source - 220 Electric

## FURNACE

1305: Forced Air System Energy Source - Electric

1306: Hot Air System - Direct Drive

1309: Heat Pump - Electric

1310: Distribution System Type - Up Flow

1311: Distribution System Material - Metal Duct

1312: Thermostat - Programmable

1317: Filter System - Disposable

## FURNACE

## BASEMENT

**Satisfactory** 1502: Basement Type - Full Basement

**Satisfactory** 1503: Basement Access - Interior Stairs

**Service/Repair** 1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration. Basement fully finished wall not exposed

**Satisfactory** 1506: Basement Floor - Cement

**Satisfactory** 1513: Basement Wall Finish - Other

Other = The inspection was limited by finished areas will be described as finished area.

## CRAWL SPACE

**Inspection Definition/Limitation** 1601: CRAWL SPACE - General Comment

No access to enter crawl spaces viewed from exterior hatches

**Satisfactory** 1602: Crawl Space Type - Combination

**Satisfactory** 1603: Crawl Space Access - Other

Other = via Garage

**Monitor/Maintain** 1604: Crawl Space Foundation Walls - Poured

Some cracks and water penetration noted.

**Satisfactory** 1606: Crawl Space Structural Columns - Bearing Wall

**Major Defect** 1608: Crawl Space Ceiling Sub Floor - Plywood

Exposed lath on the back of Stucco where sheathing has rotted loose and missing insulation noted all exterior wall system should be evaluated in all needed repairs made and all interior damage repaired as well Some mold/mildew was noted on subfloor surfaces and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

**Satisfactory** 1609: Crawl Space Ceiling Joist - Truss

**Service/Repair** 1610: Crawl Space Insulation - Walls

## CRAWL SPACE

Insulation limits inspection. Missing insulation noted in some areas insulation May concealed further damage

1612: Crawl Space Floor Vapor Barrier - Present

1613: Crawl Space Floor Type - Concrete

1614: Crawl Space Drainage - None

## KITCHEN

1702: Kitchen Walls - Drywall

1703: Kitchen Ceiling - Drywall

1704: Kitchen Floors - Vinyl

1705: Kitchen Heating Source - Central

1706: Kitchen Cooling Source - Central

1707: Kitchen Doors Windows - Tested

1708: Kitchen Cabinets - Custom Wood

Dry wall screws should be replaced with proper screws. Some damage noted.

1709: Kitchen Sink - Stainless

1710: Kitchen Sink Faucet - Single Lever

1712: Kitchen Drain and Trap - PVC

1713: Garbage Disposal - Continuous Feed

1714: Dishwasher Approx. Age - 1/5

1715: Dishwasher Mfg. - GE

1717: Exhaust Fan Hood - Hood Exhaust

1718: Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested.

1719: Surface Cooktop - Electrical

1720: Kitchen Wall Receptacles - GFI Protected

1721: Kitchen Switches Fixtures - Recessed, Hanging

## KITCHEN

### HALF BATH

**Service/Repair** 1802: Half Bath Doors and Windows - Door/ Lock

Door difficult to latch

1803: Half Bath Electric Switches and Fixtures - Wall

1804: Half Bath Receptacles - GFCI

1805: Half Bath Walls and Ceilings - Drywall

1806: Half Bath Exhaust System - Elect Fan Attic

1807: Half Bath Heating and Cooling - Central

1808: Half Bath Sink Faucets - Single Lever

1809: Half Bath Sink Stopper - Push Pull

1810: Half Bath Sink Basin - Cast Marble

**Service/Repair** 1811: Half Bath Sink Drain and Trap - Chrome

Corrosion was noted on the drain pipes.

1812: Toilet Bowl and Tank - 2 Piece, Anchored

1813: Toilet Operation - Flushes, Refills, Drains

1814: Half Bath Ventilation - Fan

1815: Half Bath Floor - Vinyl

1816: Number of Half Baths - 1

## BATHROOM

1902: Bathroom Doors, Windows - Door/ Lock, Window

1903: Bathroom Electric Switches and Fixtures - Wall

1904: Bathroom Receptacles - GFCI

**Monitor/Maintain** 1905: Bathroom Walls and Ceilings - Drywall

Some poorly finished areas were noted.

1906: Bathroom Exhaust System - Elec. Fan Outdoors, Window



## BATHROOM

- Satisfactory 1907: Bathroom Heating Cooling - Central Sys
- Satisfactory 1908: Bathroom Sink Faucets - Individual , Single Lever
- Satisfactory 1909: Bathroom Sink Stopper - Lever
- Satisfactory 1910: Bathroom Sink Basin - Cast Marble
- Satisfactory 1911: Bathroom Sink Drain and Trap - Chrome
- Satisfactory 1912: Toilet Bowl and Tank - 2 Piece
- Satisfactory 1913: Toilet Operation - Flushes, Refills, Drains
- Satisfactory 1914: Bathtub Faucets - Individual
- Satisfactory 1915: Bathtub Stopper - Pop Up
- Satisfactory 1916: Bath Showerhead - Personal
- Satisfactory 1917: Seal Around Tub - 1 Piece Shower Tub
- Satisfactory 1918: Tub Wall Encl. - Fiberglass
- Satisfactory 1919: Bathroom Ventilation - Fan, Window
- Satisfactory 1920: Bathroom Floor - Ceramic
- Satisfactory 1921: Shower Stall Walls - Fiberglass
- Satisfactory 1922: Shower Drain - Floor Drain Stall
- Satisfactory 1923: Shower Faucets - Single Lever
- Satisfactory 1924: Number of Full Baths - 2

## ATTIC

**Inspection  
Definition/Limitation** 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc. Rear finished no access.

**Service/Repair** 2003: Attic Entry Access - Other

Other = Damaged door noted and should be repaired

Satisfactory 2004: Attic Access Location - Bedroom

**Safety Concern** 2005: Attic Structural Framing Type - Combination

## ATTIC

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair. Some standing noted along the front wall not wet at time of inspection and should be monitored for future leakage

2006: Attic Structural Framing Spacing - 16 inches on Center

2007: Attic Sheathing - Particle Board

2008: Attic Floor Insulation - Fiberglass

2009: Attic Insulation Thickness - 6 inches

Suggest adding more Insulation R-30 is suggested.

2010: Attic Insulation Approx. R. Value - 19

2011: Attic Ventilation - Ridge

2012: Attic Wiring - Exposed

2013: Attic Vent Pipes - Vented Outside

2014: Attic Exhaust - Other

Not visible.

## INTERIOR

2102: Interior - Living Room, Family Room, Dining Room

2103: Number of Bedrooms - 3

2104: Interior Walls - Dry Wall

Typical drywall flaws were noted.

2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted. Some staining noted in basement ceiling but not wet a time of inspection

2106: Interior Floors - Carpet, Vinyl

Some loose carpet noted and should be repaired

2107: Interior Switches - Sample Number Test

## INTERIOR

Satisfactory 2108: Interior Fixtures - Properly Wired

Satisfactory 2109: Interior Outlets - Three Prong Grounded

Satisfactory 2110: Interior Heat Source - Tested

**Inspection  
Definition/Limitation** 2111: Interior Cooling Source - Not Tested

The outside temperature was to low to safely test Cooling Mode.

**Inspection  
Definition/Limitation** 2112: Interior Cabinets and Shelving - Heavy Storage

Access limited by heavy storage.

**Service/Repair** 2113: Interior Fire Place 1 - Gas Log Fireplace

Staining noted in stone on front of fireplace indicates past leakage also repair noted in sealing above this area. Ventless fireplace should be used with care.

Satisfactory 2114: Interior Fire Place 2 - Zero Clearance

Satisfactory 2116: Closets/ Interior Doors - Doors in Place

**Safety Concern** 2117: Smoke Detectors - Too Few

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

**Service/Repair** 2119: Stairways - With Hand Railings

Some gaps at staircases and no turned in railings and should be used with care

Satisfactory 2120: Ceiling Fan - Sample Number Tests

Satisfactory 2121: Skylight - No Evidence of Leakage

**Major Defect** 2122: Windows - Operated

. Condensation was noted between multiple insulated window panes all windows should be evaluated and all damaged glass replaced. Broken glass noted second floor

Satisfactory 2123: GFCI Rest - Reset

## **Inspection Description/limitation**

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.