



**RELIABLE HOME INSPECTION SERVICE**

**100 Old Kennett Road  
Wilmington, DE 19807  
302/993-9100 DE  
610/388-7911 (PA)  
410/392-2200 (MD)**

Printed Thursday, October 8, 2020

Inspected By:

**FRANCIS GLYNN H4-0000078 ASHI #253366**

**MD# 33646**

Client Information: Record Number 454820520

Referral Information



Inspected 10/8/20 12:00 PM

FRONT VIEW

PHOTO



# Inspection Summary

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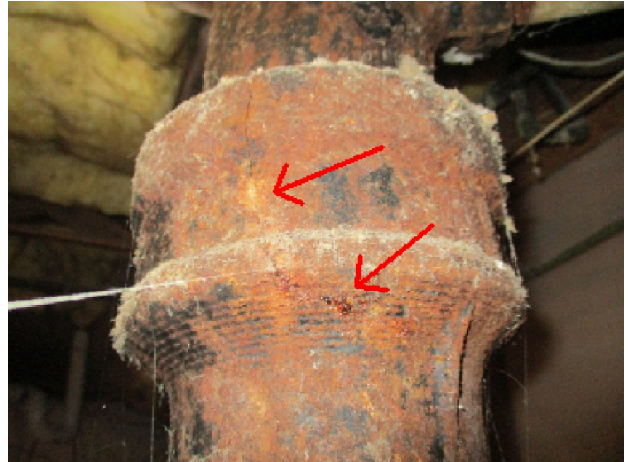
Record

## Major Defect

### PLUMBING

#### Interior Waste/Vent Pipes Visible Primary Type

Most piping concealed supply and drain.  
Blistering and evidence of leakage was noted. Cracked section was noted.  
Poorly pitched areas were noted and should be repaired.  
The entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.





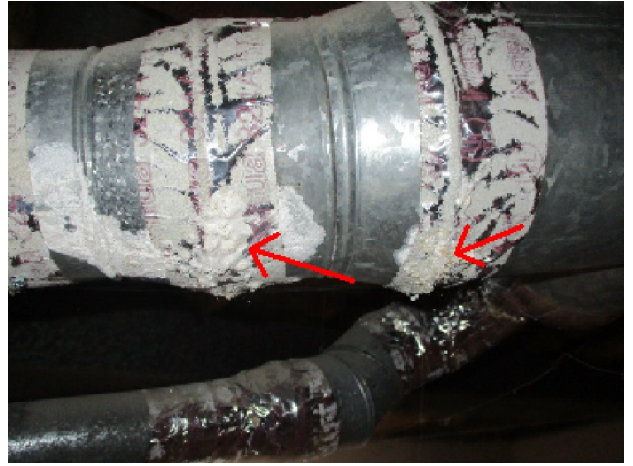
# Major Defect

## FURNACE

### Flue Piping

Rusted and damaged vent pipe was noted. Evidence of leakage was noted.

The entire unit should be evaluated by a qualified heating contractor and all needed repairs should be made.



# Major Defect

## BASEMENT

### Basement Ceiling Joist Visible Primary Type

There was termite damage noted to framing. Some poorly repaired areas were noted. The entire structural condition should be evaluated by a structural contractor or engineer and any needed repairs should be made.





## Major Defect



## BATHROOM

### Shower Faucets

Hot and cold are reversed and should be repaired.  
Missing screws were noted at the valve body.  
Water did not get cold and should be evaluated and all needed repairs should be made.



# Safety Concern

## EXTERIOR

### Outside Outlets

Exposed wiring was noted at the rear bump out and should be repaired.  
Interior light was used on the exterior and should be repaired.





# Safety Concern

## GROUNDS

### Walks

Cracks and some settlement noted.  
Uneven areas present tripping hazard and should be repaired.



# Safety Concern

## Porches

Support post is not properly attached and should be repaired.  
Rear over hang is missing joist hanger fasteners and should be repaired.  
Footings are exposed and should be repaired.





# Safety Concern

## Driveway

Some cracks noted.  
Uneven areas may present a tripping hazard and should be repaired to prevent injury.  
Seam from the driveway to the foundation should be sealed.

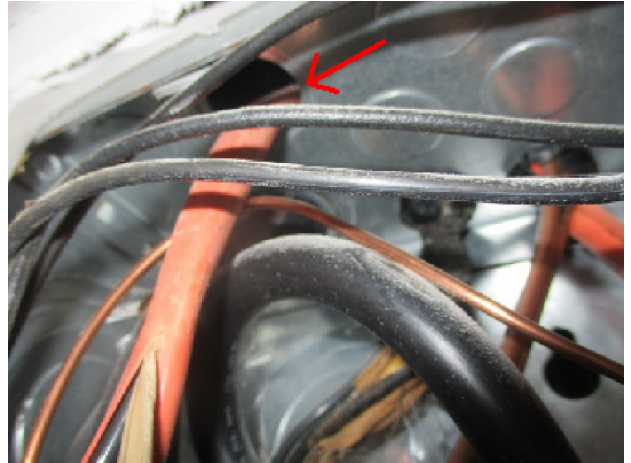


# Safety Concern

## ELECTRIC

### Electrical Defaults

The missing panel cover knock out seals should be replaced.  
Wrong outlet cover was noted and should be repaired.  
Some outlets in the basement are loose and should be repaired.  
Reverse polarity was noted and should be repaired. Front right bedroom, wall at stairs.  
Gaps were noted at the recess lighting to the ceiling and should be repaired.





## Safety Concern

### LAUNDRY

#### Laundry Water Faucets

Recommend GFCI outlets near water products.  
Outlet should be attached to the wall.



### BASEMENT

#### Basement Ceiling Sub Floor Visible Primary Type

Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## Safety Concern

### Basement Drainage

Recommend back up system.  
Multiple sump pumps systems installed. This could indicate water management problem.  
The sump pit should be covered.  
Debris should be removed from the pit.



## KITCHEN

### Garbage Disposal

There is a missing connector at disposal.



# Safety Concern

## ATTIC

### Attic Sheathing

Some stains were noted but were not currently wet. Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## INTERIOR

### Smoke Detectors

One should be installed on each level. Recommend Carbon monoxide Detectors.

### Windows

Damage balance was noted and should be repaired.





# Service/Repair

## EXTERIOR

### Soffit/Fascia

Poorly fitting areas were noted and should be repaired.



### Siding

Exposed areas were noted under the front kitchen bump out and should be repaired.



## Service/Repair

### Trim Work

Missing section was noted at the lower level window and should be repaired.



### Caulking

Caulking should be improved.



# Service/Repair

## GROUNDS

### Steps

Cracks and some settlement noted.  
Some undermining was noted and should be repaired.





## Service/Repair

### GUTTERS

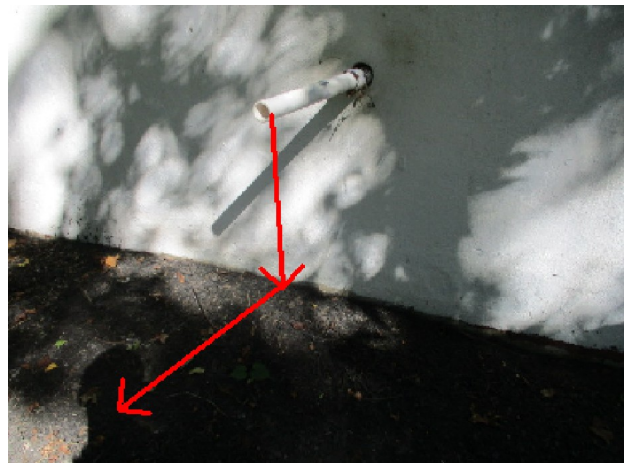
#### Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage. The gutters have debris in them and should be cleaned. Some dented areas were noted.



#### Splash Blocks

Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended. Sump pit outputs should be extended.



## Service/Repair

### ROOF

#### Roof Covering Primary Type

Tree debris should be removed.



### COOLING

#### Cooling System Coils and Fins

The unit should be leveled.



### PLUMBING

#### Municipal Main Supply Type

Recommend installing shut off on the house side of the meter.

### LAUNDRY

#### Washer Drains

Trap line should be at least 18".

## Service/Repair

### FURNACE

#### Distribution System Material

Poorly sealed duct work was noted and should be repaired.



#### Filter System

Wrong size filter was noted.  
The filter is dirty and should be replaced.  
Filters should be replaced every three months.  
Missing cover was noted at the filter and should be repaired.





# Service/Repair

## BASEMENT

### Basement Access

Drain at the bottom of the exterior steps should be cleared of debris. Damage weather stripping was noted at the exterior door for the basement and should be repaired.



### Basement Foundation Walls

Some cracks and water penetration noted. There was efflorescence on the walls.



## Service/Repair

### Basement Insulation Visible Primary Type

Insulation limits inspection.  
Some areas were installed upside down and should be repaired.



### Basement Wall Finish

Inspection limited by finished areas.  
Non-pressure treated wood makes contact with the slab and should be replaced/repared.



# Service/Repair

## KITCHEN

### Kitchen Cabinets

Damaged areas were noted and should be repaired.  
Some shelving was not installed.  
Some stains were noted.  
Poorly finished areas were noted and should be repaired.  
Poorly installed handles and missing handles were noted and should be repaired.





## Service/Repair

### Dishwasher Mfg.

Insulation is exposed and should be repaired.  
Dishwasher should be better attached to the cabinets.  
Poorly installed drain line was noted. Dishwasher drain line should have a high loop to prevent backup of dirty drain water into dishwasher.



## BATHROOM

### Bathroom Doors, Windows

Door would not close properly. Master bathroom.

### Bathroom Sink Drain and Trap

Flex pipe was noted. Master bathroom,



### Toilet Bowl and Tank

The toilet is loose at the base in the master bath.

## Service/Repair

### Toilet Operation

Supply line is loose from the wall and should be repaired. Hallway bathroom.



## INTERIOR

### Closets

Some interior doors would not close properly and should be repaired. Poorly fitting doors were noted.



## Monitor/Maintain

## EXTERIOR

### Exposed Foundation

Some cracks noted.

### Grading

Soil should be sloped away from house to improve drainage.

## PLUMBING

### Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

## Monitor/Maintain

### ATTIC

#### Attic Structural Framing Type

Some past repairs were noted.



### INTERIOR

#### Interior Ceilings

Typical drywall flaws were noted.

#### Interior Walls

Typical drywall flaws were noted.

## Inspection Definition/Limitation

### CHIMNEY

#### Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

### LAUNDRY

#### LAUNDRY

No appliances were installed.

### FURNACE

#### Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

### KITCHEN

#### Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

### ATTIC

#### Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

#### Attic Exhaust

Other = Not visible.



# Inspection Definition/Limitation

## INSPECTION DEFINITIONS/LIMITATION

### Inspection Discription/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

# Inspection Report Details

Record

## EXTERIOR

### **Safety Concern** Outside Outlets - Tested

Exposed wiring was noted at the rear bump out and should be repaired.  
Interior light was used on the exterior and should be repaired.

### **Satisfactory** Type of Home - Frame, 1 Story

### **Monitor/Maintain** Exposed Foundation - Cement Block

Some cracks noted.

### **Service/Repair** Soffit\Fascia - Aluminum

Poorly fitting areas were noted and should be repaired.

### **Monitor/Maintain** Grading - Inadequate

Soil should be sloped away from house to improve drainage.

### **Service/Repair** Siding - Vinyl

Exposed areas were noted under the front kitchen bump out and should be repaired.

### **Satisfactory** Masonry Walls - Brick

### **Service/Repair** Trim Work - Aluminum

Missing section was noted at the lower level window and should be repaired.

### **Satisfactory** Entry Doors - Metal

### **Satisfactory** Storm Doors - Aluminum

### **Satisfactory** Window Character Material - Vinyl

### **Satisfactory** Window Character Type - Double Hung

### **Satisfactory** Glass - Insulated

### **Satisfactory** Windows Storm\Screen - MFG Screens

### **Satisfactory** Weather Stripping - Fiber\Felt

### **Service/Repair** Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

## GROUNDS

### **Safety Concern** Walks - Concrete

Cracks and some settlement noted.  
Uneven areas present tripping hazard and should be repaired.

Record

## GROUNDS

### **Service/Repair**    **Steps - Concrete**

Cracks and some settlement noted.  
Some undermining was noted and should be repaired.

### **Safety Concern**    **Porches - Wood and Concrete**

Support post is not properly attached and should be repaired.  
Rear over hang is missing joist hanger fasteners and should be repaired.  
Footings are exposed and should be repaired.

### **Safety Concern**    **Driveway - Asphalt**

Some cracks noted.  
Uneven areas may present a tripping hazard and should be repaired to prevent injury.  
Seam from the driveway to the foundation should be sealed.

### **Satisfactory**    **Hand Rail - Steel**

## GUTTERS

### **Satisfactory**    **Inspected From - Roof, Ground**

### **Satisfactory**    **Access Restricted - Not Restricted**

### **Service/Repair**    **Gutter Type - Aluminum**

Gutters should be cleaned regularly to prevent rot and roof damage.  
The gutters have debris in them and should be cleaned.  
Some dented areas were noted.

### **Satisfactory**    **Downspout Type - Aluminum**

### **Satisfactory**    **Sealed Downspouts - None**

### **Service/Repair**    **Splash Blocks - None**

Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended.  
Sump pit outputs should be extended.

## ROOF

### **Satisfactory**    **How Inspected - Walk on Roof**

### **Satisfactory**    **Roof Access Restricted - Not Restricted**

### **Satisfactory**    **Roof Style - Gable**

### **Service/Repair**    **Roof Covering Primary Type - Asphalt Composite Shingle**

Tree debris should be removed.

### **Satisfactory**    **Approx. Age - 1 thru 5**



Record

## ROOF

- Satisfactory Number of Layers - 1
- Satisfactory Roof Ventilation System - Ridge, Soffit, Gable Vents
- Satisfactory Flashing - Aluminum
- Satisfactory Plumbing Vents - PVC, Cast Iron
- Satisfactory Valleys - Asphalt

## CHIMNEY

- Satisfactory Chimney Inspected From - Roof
- Inspection Definition/Limitation** Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

- Satisfactory Chimney 1 Type - Metal
- Satisfactory Chimney 1 Location - Main
- Satisfactory Flue Lining - Metal
- Satisfactory Chimney Top - Metal
- Satisfactory Chimney Cap - Rain

## COOLING

- Satisfactory Cooling System 1 Brand - Other  
Other = Airetemp
- Satisfactory Cooling System 1 Tonnage - 2 Ton
- Satisfactory Cooling System 1 Approx. Age - 1
- Satisfactory Heat Pump - Air to Air
- Service/Repair** Cooling System Coils and Fins - Clean

The unit should be leveled.

Record

## COOLING

**Satisfactory** Cooling System Electrical - Ext. Disconnect

**Satisfactory** Cooling Lines - Insulation

**Satisfactory** Condensate Drain - Plastic

**Satisfactory** Differential Temp 1 - Details

Return temp = 65 Supply temp = 50 Differential Temp = 15

## ELECTRIC

**Satisfactory** Main Electrical Service - Attached To House

**Satisfactory** Main Electrical Service Wire - Aluminum

**Satisfactory** Overhead Clearance - 12 Feet

**Satisfactory** Voltage Available - 110 / 220

**Satisfactory** Main Electrical Distribution Panel Accessibility - Typical

**Satisfactory** Main Electrical Distribution Panel Location - Basement

**Satisfactory** Main Electrical Disconnect - Breaker

**Satisfactory** Main Panel - 150, Inspection Sticker

**Satisfactory** Interior Wiring Visible Primary Type - Copper 90 percent

**Satisfactory** Type of Wire Visible Primary Type - Romex

**Satisfactory** Grounding - Both

**Satisfactory** Breakers in Use - Room for Expansion

**Satisfactory** Panel Inspected - Main Panel Inspected

Record

## ELECTRIC

### **Safety Concern** Electrical Defaults - Main Panel

The missing panel cover knock out seals should be replaced.  
 Wrong outlet cover was noted and should be repaired.  
 Some outlets in the basement are loose and should be repaired.  
 Reverse polarity was noted and should be repaired. Front right bedroom, wall at stairs.  
 Gaps were noted at the recess lighting to the ceiling and should be repaired.

### **Satisfactory** Electrical Duplex Receptacles Primary Type - 3 Slotted

## PLUMBING

### **Satisfactory** Water Source - Municipal

### **Satisfactory** Municipal Main Supply Size - 3/4

### **Service/Repair** Municipal Main Supply Type - Copper

Recommend installing shut off on the house side of the meter.

### **Satisfactory** Main Water Shut Off - Basement

### **Satisfactory** Main Gas Valve - Outside

### **Satisfactory** Interior Visible Water Pipes Visible Primary Type - Copper, CPVC, PEX

### **Satisfactory** Waste System - Municipal

### **Major Defect** Interior Waste/Vent Pipes Visible Primary Type - PVC, Cast Iron, Galvanized

Most piping concealed supply and drain.  
 Blistering and evidence of leakage was noted. Cracked section was noted.  
 Poorly pitched areas were noted and should be repaired.  
 The entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.

### **Satisfactory** Number of Outside Spigots - 2

### **Monitor/Maintain** Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

## W. HEATER

### **Satisfactory** Water Heater 1 Mfg. - Rheem

### **Satisfactory** Water Heater 1 Approx. Age - 1

### **Satisfactory** Water Heater 1 Size - 40



Record

## W. HEATER

- Satisfactory** Water Heater Fuel - Electric
- Satisfactory** Water Heater Cold Water Valve - Present
- Satisfactory** Temp. Pressure Relief Valve and Pipe - Present
- Satisfactory** Water Heater Exterior Jacket - OK

## LAUNDRY

### **Inspection Definition/Limitation** LAUNDRY - General Comment

No appliances were installed.

### **Safety Concern** Laundry Water Faucets - Single Handle

Recommend GFCI outlets near water products.  
Outlet should be attached to the wall.

### **Service/Repair** Washer Drains - Trapped Line

Trap line should be at least 18".

**Satisfactory** Dryer Vented - Wall

**Satisfactory** Laundry Energy Source - 220 Electric

## FURNACE

**Satisfactory** Forced Air System 1 Mfg. - Other  
Other = Airtemp

**Satisfactory** Forced Air System 1 BTU Per Hour - 75,000+

**Satisfactory** Forced Air System 1 Approx. Age - 1

**Satisfactory** Forced Air System Energy Source - Gas

**Satisfactory** Hot Air System - Direct Drive

**Satisfactory** Heat Exchanger Flame Pattern - Pass

### **Inspection Definition/Limitation** Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

## FURNACE

**Satisfactory**      **Distribution System Type - Up Flow**

**Service/Repair**      **Distribution System Material - Metal Duct**

Poorly sealed duct work was noted and should be repaired.

**Satisfactory**      **Thermostat - Single and Multi**

**Major Defect**      **Flue Piping - Single Walled**

Rusted and damaged vent pipe was noted. Evidence of leakage was noted.  
The entire unit should be evaluated by a qualified heating contractor and all needed repairs should be made.

**Service/Repair**      **Filter System - Disposable**

Wrong size filter was noted.  
The filter is dirty and should be replaced.  
Filters should be replaced every three months.  
Missing cover was noted at the filter and should be repaired.

## BASEMENT

**Satisfactory**      **Basement Type - Full Percent**

**Service/Repair**      **Basement Access - Interior Stairs, Exterior Stairs**

Drain at the bottom of the exterior steps should be cleared of debris.  
Damage weather stripping was noted at the exterior door for the basement and should be repaired.

**Service/Repair**      **Basement Foundation Walls - Cement Block**

Some cracks and water penetration noted.  
There was efflorescence on the walls.

**Satisfactory**      **Foundation Anchors - Anchor Bolts**

**Satisfactory**      **Basement Floor - Cement, Carpet On Slab**

**Satisfactory**      **Basement Bridging - Wood**

**Satisfactory**      **Basement Structural Columns Visible Primary Type - Steel, Concrete Block**

**Satisfactory**      **Basement Structural Beams Visible Primary Type - Steel**

**Safety Concern**      **Basement Ceiling Sub Floor Visible Primary Type - Sheathing BD., Plywood**

Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

**Major Defect**      **Basement Ceiling Joist Visible Primary Type - Conventional**

There was termite damage noted to framing. Some poorly repaired areas were noted. The entire structural condition should be evaluated by a structural contractor or engineer and any needed repairs should be made.

**Service/Repair**      **Basement Insulation Visible Primary Type - Between Joist**

Insulation limits inspection.  
Some areas were installed upside down and should be repaired.

Record

## BASEMENT

### **Service/Repair**    **Basement Wall Finish - Partially Finished**

Inspection limited by finished areas.

Non-pressure treated wood makes contact with the slab and should be replaced/repaired.

### **Safety Concern**    **Basement Drainage - Sump Pump**

Recommend back up system.

Multiple sump pumps systems installed. This could indicate water management problem.

The sump pit should be covered.

Debris should be removed from the pit.

## KITCHEN

**Satisfactory**    **Kitchen Walls - Drywall, Tile**

**Satisfactory**    **Kitchen Ceiling - Drywall**

**Satisfactory**    **Kitchen Floors - Wood**

**Satisfactory**    **Kitchen Heating Source - Central**

**Satisfactory**    **Kitchen Cooling Source - Central**

**Satisfactory**    **Kitchen Doors Windows - Tested**

### **Service/Repair**    **Kitchen Cabinets - Laminate**

Damaged areas were noted and should be repaired.

Some shelving was not installed.

Some stains were noted.

Poorly finished areas were noted and should be repaired.

Poorly installed handles and missing handles were noted and should be repaired.

**Satisfactory**    **Kitchen Sink - Stainless**

**Satisfactory**    **Kitchen Sink Faucet - Single Lever**

**Satisfactory**    **Kitchen Drain and Trap - PVC**

### **Safety Concern**    **Garbage Disposal - Continuous Feed**

There is a missing connector at disposal.

**Satisfactory**    **Dishwasher Approx. Age - 1/5**

### **Service/Repair**    **Dishwasher Mfg. - Frigidaire**

Insulation is exposed and should be repaired.

Dishwasher should be better attached to the cabinets.

Poorly installed drain line was noted. Dishwasher drain line should have a high loop to prevent backup of dirty drain water into dishwasher.



Record

## KITCHEN

**Satisfactory** Exhaust Fan Hood - Hood Ductless

**Inspection Definition/Limitation** Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested.

**Satisfactory** Surface Cooktop - Electrical

**Satisfactory** Kitchen Wall Receptacles - GFI Protected

**Satisfactory** Kitchen Switches Fixtures - Recessed, Hanging

## BATHROOM

**Service/Repair** Bathroom Doors, Windows - Door Lock

Door would not close properly.Master bathroom.

**Satisfactory** Bathroom Electric Switches and Fixtures - Ceiling, Wall

**Satisfactory** Bathroom Receptacles - GFCI

**Satisfactory** Bathroom Walls and Ceilings - Drywall

**Satisfactory** Bathroom Heating Cooling - Central Sys

**Satisfactory** Bathroom Sink Faucets - Single Lever

**Satisfactory** Bathroom Sink Stopper - Push Pull

**Satisfactory** Bathroom Sink Basin - Cast Marble

**Service/Repair** Bathroom Sink Drain and Trap - PVC

Flex pipe was noted. Master bathroom,

**Service/Repair** Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base in the master bath.

**Service/Repair** Toilet Operation - Flushes, Drains, Refills

Supply line is loose from the wall and should be repaired.Hallway bathroom.

**Satisfactory** Bathtub Faucets - Single Lever

**Satisfactory** Bathtub Stopper - Pop Up

Record

## BATHROOM

**Satisfactory** Bath Showerhead - Standard

**Satisfactory** Tub Wall Encl. - Ceramic

**Satisfactory** Bathroom Ventilation - Fan

**Satisfactory** Bathroom Floor - Ceramic

**Satisfactory** Shower Stall Walls - Ceramic Tile

**Satisfactory** Shower Drain - Tub, Floor Drain Stall

**Major Defect** Shower Faucets - Single Lever

Hot and cold are reversed and should be repaired.

Missing screws were noted at the valve body.

Water did not get cold and should be evaluated and all needed repairs should be made.

**Satisfactory** Number of Full Baths - 2

## ATTIC

**Inspection Definition/Limitation** Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

**Satisfactory** Attic Entry Access - Hatch

**Satisfactory** Attic Access Location - Closet

**Monitor/Maintain** Attic Structural Framing Type - Conventional

Some past repairs were noted.

**Satisfactory** Attic Structural Framing Spacing - 16 inches on Center

**Safety Concern** Attic Sheathing - Particle Board

Some stains were noted but were not currently wet.

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

**Satisfactory** Attic Floor Insulation - Loose Fill

**Satisfactory** Attic Insulation Thickness - 10 inches

Record

# ATTIC

**Satisfactory** Attic Insulation Approx. R. Value - 30

**Satisfactory** Attic Ventilation - Gable End, Ridge

**Satisfactory** Attic Wiring - Covered with Insulation

**Satisfactory** Attic Vent Pipes - Vented Outside

**Inspection Definition/Limitation** Attic Exhaust - Other

Other = Not visible.

**Satisfactory** Attic Chimney Flues - Metal

# INTERIOR

**Service/Repair** Closets - Doors in Place

Some interior doors would not close properly and should be repaired.  
Poorly fitting doors were noted.

**Satisfactory** Interior Heat Source - Tested

**Satisfactory** Interior Cooling Source - Tested

**Satisfactory** Stairways - With Hand Railings

**Satisfactory** Interior Cabinets and Shelving - Accessible

**Satisfactory** Interior Floors - Wood, Carpet, Tile

**Monitor/Maintain** Interior Ceilings - Dry Wall

Typical drywall flaws were noted.

**Monitor/Maintain** Interior Walls - Dry Wall

Typical drywall flaws were noted.

**Safety Concern** Smoke Detectors - Too Few

One should be installed on each level.  
Recommend Carbon monoxide Detectors.

**Satisfactory** Number of Bedrooms - 3

**Safety Concern** Windows - Operated

Damage balance was noted and should be repaired.

## INTERIOR

<b>Satisfactory</b>
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**GFCI Rest - Reset**

## INSPECTION DEFINITIONS/LIMITATION

<b>Inspection Definition/Limitati on</b>
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### Inspection Discription/limitation - Information

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

**Satisfactory** - An item in normal operation, or serviceable condition, but may show normal wear.

**Monitor/Maintain** - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

**Service/Repair** - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

**Safety Concern** - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

**Major Defect** - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.