



Reliable Home Inspection Service
100 Old Kennet Rd
Wilmington, DE 19807
302-993-9100
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By: [REDACTED]

Referral Information [REDACTED]

Client Information: [REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Inspected [REDACTED]

FRONT VIEW



PHOTO

Inspection Summary

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100 Old Kennet Rd
Wilmington, DE 19807
302-993-9100

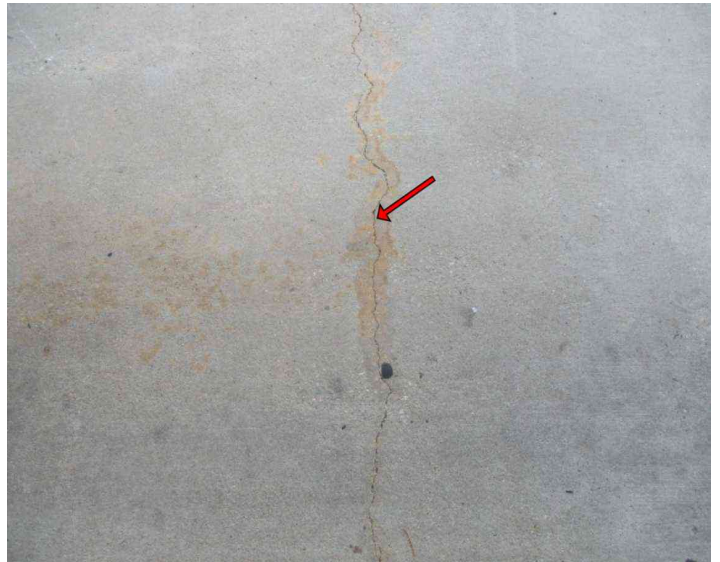
<https://www.reliablehomeinspectionsservice.com/>

Major Defect

GROUNDS

0205: Porches

Some loose paint and rot noted
Wood boring insect damage was noted.
All exterior wood products should be evaluated by
qualified contractor and all needed repairs should be
made.
Cracks and settlement were noted.



Major Defect

GROUNDS

0207: Driveway/Parking Lot

Some cracks noted.
Deterioration of the parking was noted and should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

COOLING

0701: COOLING SYSTEM

Panasonic mini split systems (4) systems at unit 3
Improperly installed systems were noted.
Condensation dripping from units at the time of the inspection The entire HVAC should be evaluated and all needed repairs should be made
Carrier mini split Unit 1

4 Panasonic units 3yrs old Mini split
1 Carrier unit 3yrs old Mini split



Major Defect

COOLING

0709: Condensate Drain

Condensate line is currently leaking at the basement unit and should be evaluated and repaired.



CRAWL SPACE

1601: CRAWL SPACE

There appears to be a moisture issue in the crawlspace. The entire crawlspace should be evaluated by a qualified contractor and all needed repairs should be made.

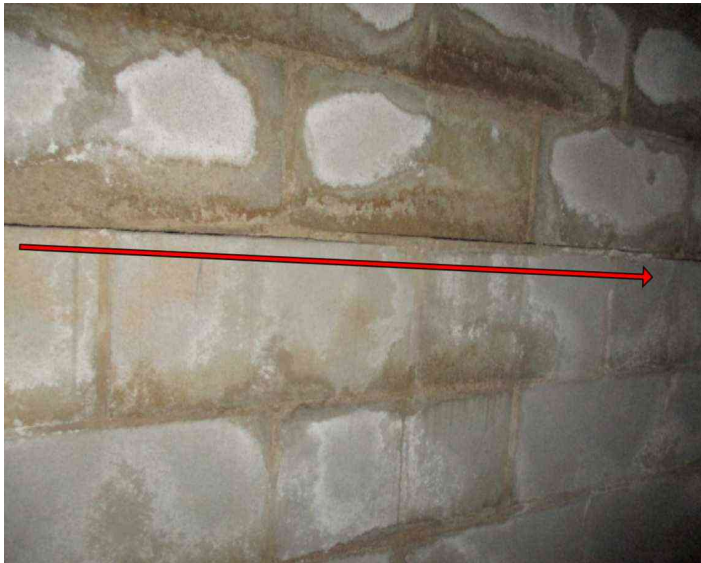


Major Defect

CRAWL SPACE

1604: Crawl Space Foundation Walls

Some cracks and water penetration noted. There was efflorescence on the walls. Some horizontal cracks were noted and should be evaluated by a structural contractor and any needed repairs should be made.

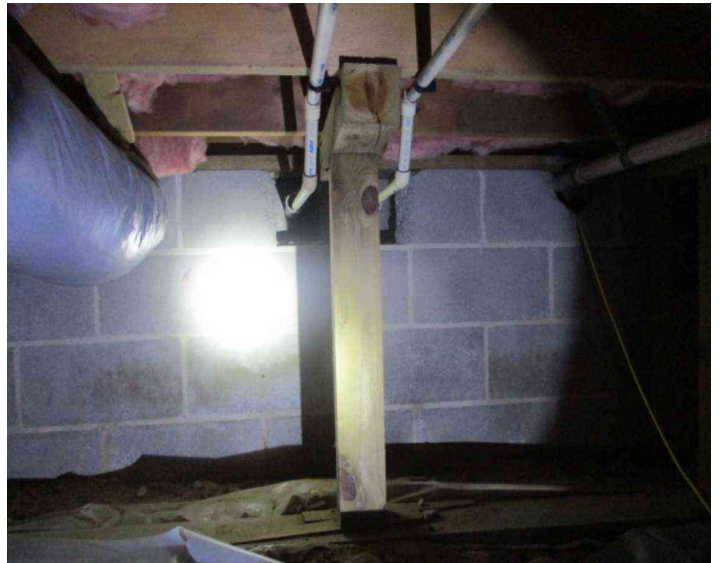


Major Defect

CRAWL SPACE

1606: Crawl Space Structural Columns

The column is a temporary makeshift support and not properly footed. The entire structural condition should be evaluated by structural contractor or engineer and all needed repairs should be made



Major Defect

CRAWL SPACE

1613: Crawl Space Floor Type

There was standing water on floor of crawl space at time of inspection, source of moisture should be identified and all need repairs to improve drainage and prevent further water intrusion should be made.



Major Defect

BATHROOM

1923: Shower Faucets

Shower faucet handle does not work properly nor does it get cold and should be evaluated and repaired. Unit 2



ATTIC

2011: Attic Ventilation

Inadequate ventilation was noted in the attic. The entire attic/roofing system should be evaluated by a qualified contractor and all needed repairs should be made. Rust was noted at the nail heads.



Major Defect



INTERIOR

2104: Interior Walls

Typical drywall flaws were noted. Currently wet areas were noted at unit 3 hallway upper walls, unit 2 and the source should be identified and all needed repairs should be made.



Major Defect



INTERIOR

2105: Interior Ceilings

Other = Drop ceilings limit inspection. Some sagging areas were noted and should be repaired. Unit 2
Some stains were noted and were dry at inspection. unit 1

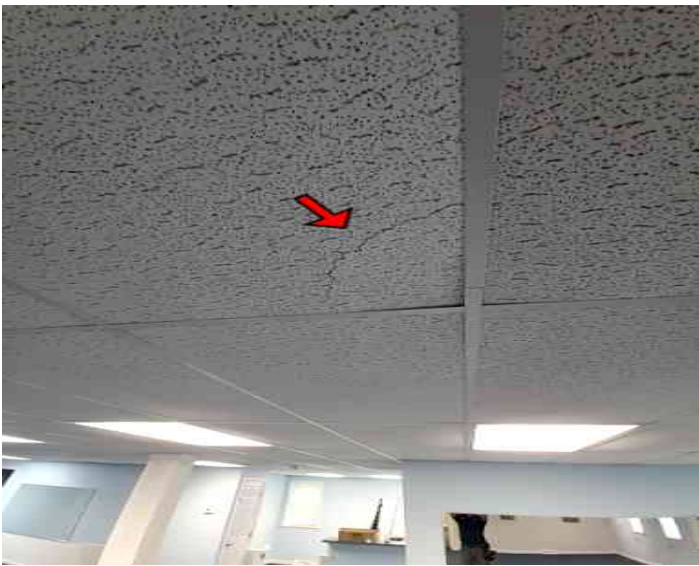
Currently wet areas of the drop ceiling was noted. The source should be identified and all needed repairs should be made. Unit 3

Wet insulation was noted above the drop ceiling and should be replaced as needed.

Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Major Defect



Safety Concern

GROUNDS

0202: Walks

Cracks and some settlement noted.
Uneven areas present tripping hazard and should be repaired.



EXTERIOR

0302: Outside Outlets

Loose fitting light fixture was noted and should be repaired. Unit 3



Safety Concern

ELECTRIC

0919: Electrical Defaults

Double tapping was noted and should be repaired. Left panel.

The missing panel cover knock out seals should be replaced. Right panel.

Unused wiring in the right panel and should be made safe.

Metal boxes mounted on foundation walls should have blocking behind them. Some rust was noted and should be repaired.

Extension cords feeding devices in basement should be removed and replaced with permanent wiring.

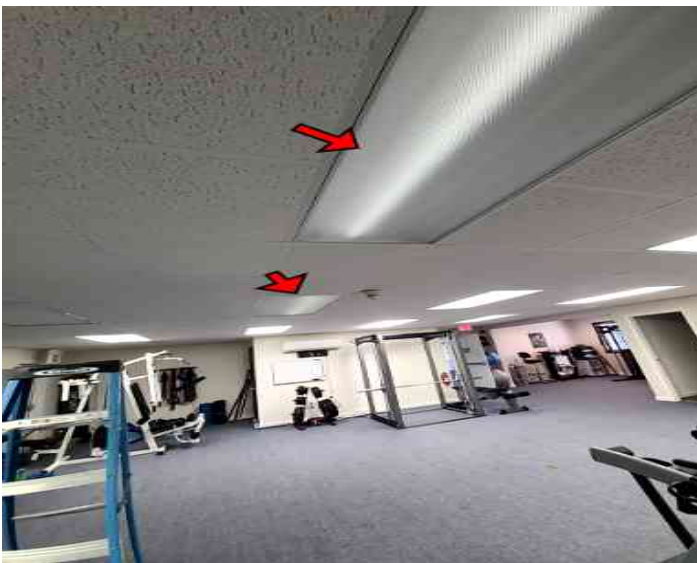
Some lights at unit 2 did not work and should be evaluated and repaired.

Some lights did not work at unit 1 and should be evaluated and repaired.

Condensation was noted at the light fixtures above the drop ceiling at unit 3. Source should be identified and all needed repairs should be made. Light fixtures should be further evaluated to ensure no damage to the fixtures.



Safety Concern



Safety Concern



W. HEATER

1107: Water Heater Fuel

An electrical connector was missing at the water heater and should be replaced.



Safety Concern

W. HEATER

1109: Water Heater Gas Piping

The unit was fed with flex and it should be hard piped.



W. HEATER

1111: Temp. Pressure Relief Valve and Pipe

Temp and pressure valve extension should be extended to within 6" of floor.



Safety Concern

BASEMENT

1503: Basement Access

Other = Bilco doors.

Damage and loose steps were noted and should be repaired.



Safety Concern

BASEMENT

1511: Basement Ceiling Joist Visible Primary Type

Some mold/mildew was noted in the in framing and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



BASEMENT

1514: Basement Drainage

Recommend adding cover.



Safety Concern



CRAWL SPACE

1609: Crawl Space Ceiling Joist

Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Safety Concern

ATTIC

2007: Attic Sheathing

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Safety Concern

ATTIC

2012: Attic Wiring

Hot exposed wiring was noted and should be repaired.



Service/Repair

EXTERIOR

0301: EXTERIOR

Missing screen was noted at the exterior vent and should be repaired.



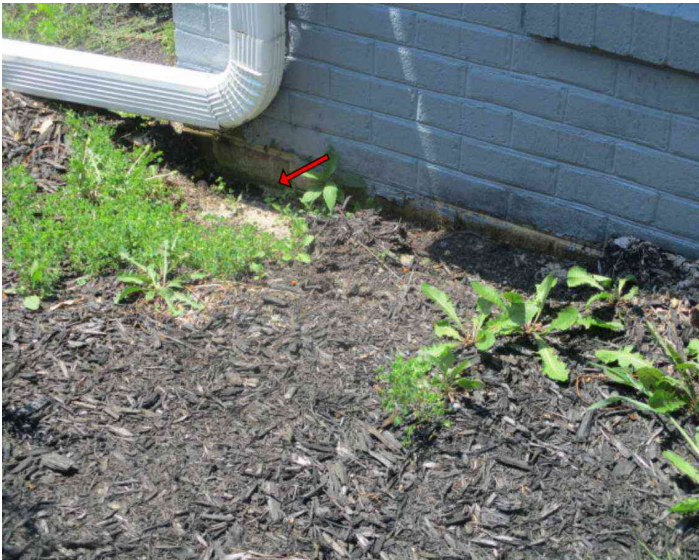
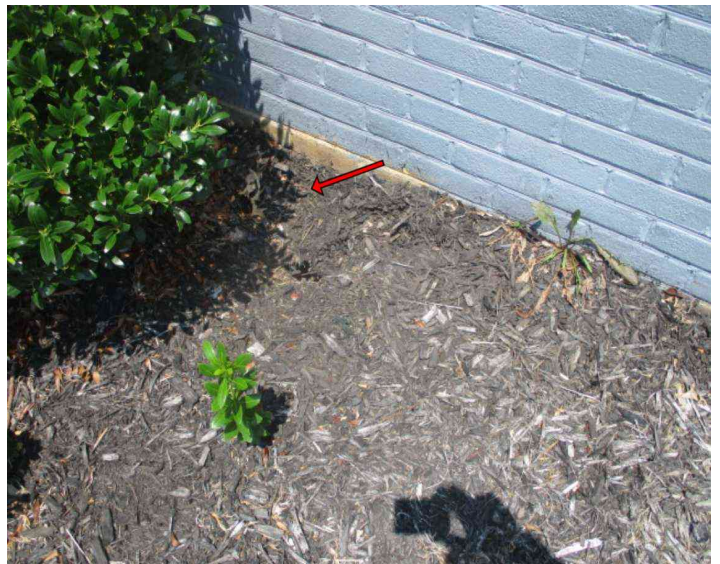
EXTERIOR

0307: Grading

Soil should be sloped away from house to improve drainage.
Siding makes soil contact and soil should be redressed to allow 6" to 8" of clearance below siding .
Some erosion was noted and should be repaired.



Service/Repair

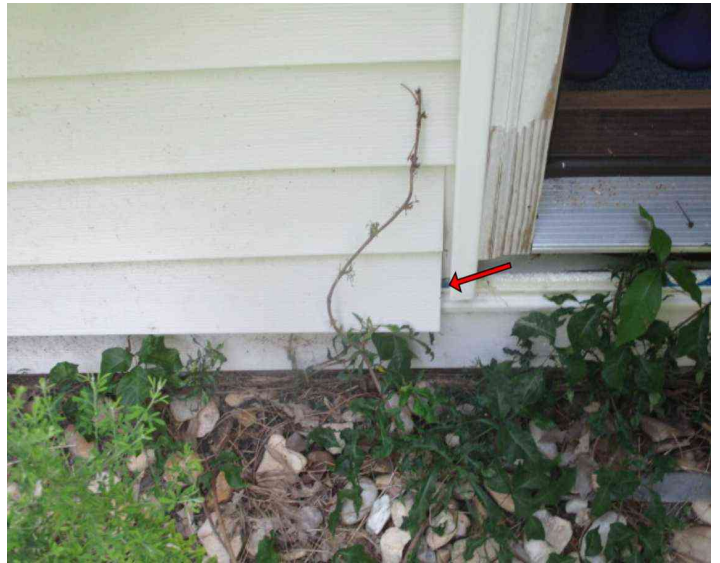


Service/Repair

EXTERIOR

0308: Siding

Loose fitting and missing section was noted and should be repaired.
Some damage was noted and should be repaired.



Service/Repair

EXTERIOR

0310: Trim Work

Some loose paint and wood rot noted.
Loose fitting areas were noted and should be repaired.



Service/Repair

EXTERIOR

0311: Entry Doors

Rust was noted at the front entry door at unit 3.



EXTERIOR

0320: Caulking

Caulking should be improved.



GUTTERS

0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

The gutters have debris in them and should be cleaned.



GUTTERS

0408: Splash Blocks

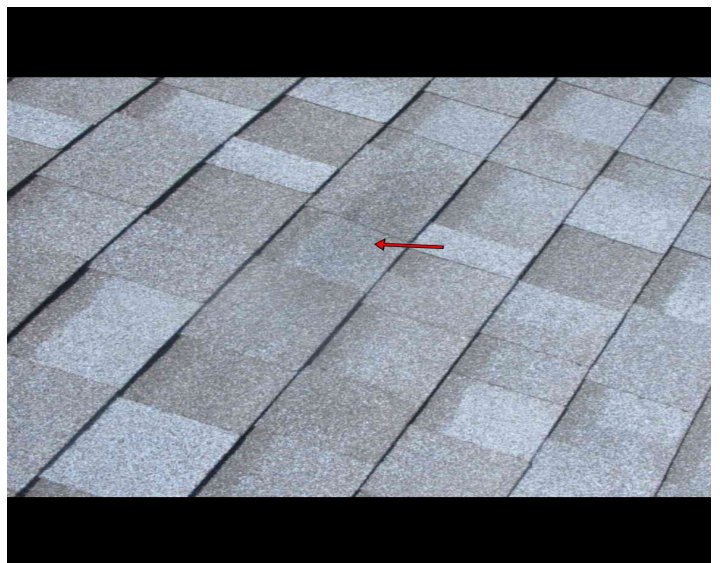
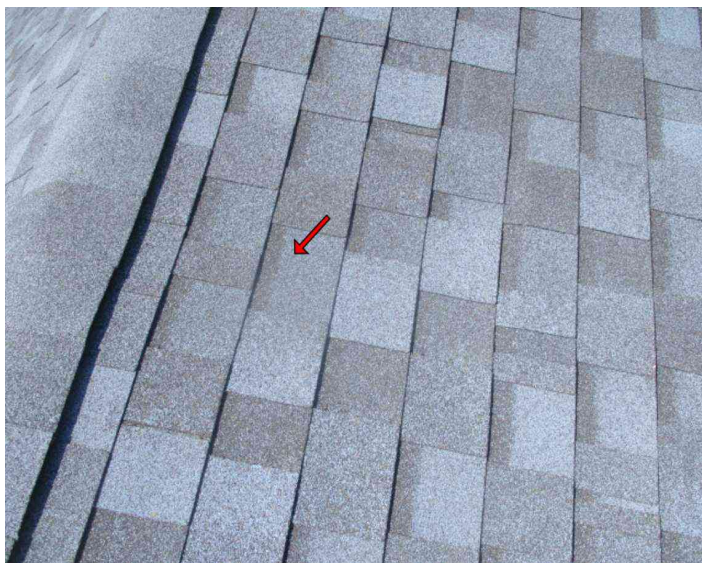
Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended.



ROOF

0505: Roof Covering Primary Type

Tree limbs should be cut back from the roof.
Raised areas of the sheathing was noted and should be repaired.
Some waviness was noted.



Service/Repair

ROOF

0508: Roof Ventilation System

Missing sections of shingles were noted at the ridge vent and should be repaired.



CHIMNEY

0604: Chimney 1 Type

Some rust was noted. Paint with `Rustoleum` or a similar product.



Service/Repair

COOLING

0708: Cooling Lines

Penetrations through siding should be sealed.



FURNACE

1311: Distribution System Material

Missing vent cover was noted and should be repaired.
Unit 3



Service/Repair

BASEMENT

1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration noted.
There was efflorescence on the walls.



BASEMENT

1506: Basement Floor

Some mud stains were noted and indicate water entry.



Service/Repair

CRAWL SPACE

1610: Crawl Space Insulation

Insulation limits inspection.
Some insulation has fallen and should be replaced.



1802: Half Bath Doors and Windows

Door does not latch shut. Unit 1 off the kitchen.
Door would not close properly and should be repaired. Unit 3

HALF BATH

1803: Half Bath Electric Switches and Fixtures

Light was out at the fan light combo at unit 3 and
should be repaired.



INTERIOR

2122: Windows

Stripped crank at unit 3 window and should be repaired.

Some missing cranks were noted and should be repaired. Unit 3

Some casement windows were difficult to open. Unit 3

Both side casement windows did not close properly and should be repaired. Unit 3.

Right front window at unit 2 did not open and should be repaired.



Monitor/Maintain

EXTERIOR

0304: Exposed Foundation Primary Visible Type

Some cracks noted.

PLUMBING

1004: Municipal Main Supply Type

Some discoloration was noted.



1011: Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

1301: FURNACE

It appears the mini splits at unit 2 and 3 supply both heating and cooling.

2117: Smoke Detectors

Smoke detectors should be checked on the day home is occupied. Its recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

Inspection Definition/Limitation

CHIMNEY

0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

Inspection Definition/Limitation

1201: LAUNDRY

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

1512: Basement Insulation Visible Primary Type

Insulation limits inspection.

1805: Half Bath Walls and Ceilings

Drop ceilings limit inspection as not all tiles are removed.

2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2014: Attic Exhaust

Other = Not visible.

Inspection Definition/Limitation

2201: Inspection Description/limitation

DEFINITION LIMITATION

INSPECTION DEFINITION LIMITATION

Report Definitions Limitations Definitions of inspection opinions or areas that the inspection is limited

Satisfactory An item in normal operation or serviceable condition but may show normal wear

Monitor Maintain An item that will require immediate maintenance and should be carefully monitored to avoid larger problems

Service Repair An item in need of repair or maintenance the expected cost of which should be at a level less than that of a major defect at the time of inspection Also noted may be some inaccessible items or items not working

Safety Concern An item that affects the safety of the occupants of the home and is in need of immediate repair

Major Defect An item that is currently broken and will have a substantial monetary value to repair or needs evaluation to determine the cost of a likely expensive repair

Home inspectors are generalist and are not experts in any specific field and further evaluations are often needed Qualified experts should be chosen carefully and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection Throughout this report the age of the appliances roofs etc if stated are approximate It is not possible to be exact but an effort is made to be as accurate as possible based on the visible evidence where accessible When any item in the report is reported to be Satisfactory the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand Once you have settled on the inspected property please call our office with any questions related to the home or its maintenance for the time that you own the property The Whole House Inspection is conducted according to the standards set by The American Society of Home Inspectors ASHI for the purpose of identifying major deficiencies that might effect your decision whether to purchase Unfortunately we cannot take away all the risks of home ownership Although Service Repair items may be mentioned this report does not attempt to list them all It is important for you to understand exactly what your professional inspector is able to do for you and what the limitations are in his inspection The inspection is of readily accessible areas of the building and is limited to visual observations only The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters electrical panels etc An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report This report is not a guarantee or warranty expressed or implied There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house These warranties do not however cover all the inspected items included in the report and you should read the documents provided with these warranty programs carefully Home buyers after occupying the home sometimes overlook important information and warnings contained in their reports This can result in failure of equipment or other damage which could have been prevented if the inspector's advise and recommendations had been followed It is important for the client to attend the inspection The report is a fine tool but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection After occupancy all homes will have some defects that may not be identified in the inspection report If a problem occurs of which you feel our inspectors' report did not give you sufficient warning call our office A phone consultation may be helpful to you in deciding what corrective measures to take and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem Please consult your inspector before you

Summary Page 36 of 38 examine or correct possible defects Unless prior consultation or Report Page 37 of 38 you further

inspection of commercial structure intended and will not address Americans with disability act requirements
sprinkles fire alarm systems elevators production and production support equipment and other items excluded on
bid for inspection

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Report Details

GROUNDS

Safety Concern 0202: Walks - Concrete

Cracks and some settlement noted. Uneven areas present tripping hazard and should be repaired.

Major Defect 0205: Porches - Wood and Brick

Some loose paint and rot noted Wood boring insect damage was noted. All exterior wood products should be evaluated by qualified contractor and all needed repairs should be made. Cracks and settlement were noted.

Major Defect 0207: Driveway/Parking Lot - Asphalt

Some cracks noted. Deterioration of the parking was noted and should be evaluated by a qualified contractor and all needed repairs should be made.

EXTERIOR

Service/Repair 0301: EXTERIOR - General Comment

Missing screen was noted at the exterior vent and should be repaired.

Safety Concern 0302: Outside Outlets - Tested

Loose fitting light fixture was noted and should be repaired. Unit 3

Satisfactory 0303: Type of Building - Frame, 1 Story

Monitor/Maintain 0304: Exposed Foundation Primary Visible Type - Cement Block

Some cracks noted.

Satisfactory 0306: Soffit\Fascia - Aluminum

Service/Repair 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage. Siding makes soil contact and soil should be redressed to allow 6" to 8" of clearance below siding . Some erosion was noted and should be repaired.

Service/Repair 0308: Siding - Vinyl

Loose fitting and missing section was noted and should be repaired. Some damage was noted and should be repaired.

Satisfactory 0309: Masonry Walls - Brick

Service/Repair 0310: Trim Work - Aluminum, Wood

EXTERIOR

Some loose paint and wood rot noted. Loose fitting areas were noted and should be repaired.

Service/Repair 0311: Entry Doors - Metal

Rust was noted at the front entry door at unit 3.

0314: Window Character Material - Vinyl, Vinyl Clad

0315: Window Character Type - Double Hung, Casement

0317: Glass - Insulated, Single Pane

0318: Windows Storm\Screen - MFG Screens

0319: Weather Stripping - Rubber\Vinyl, Fiber\Felt

Service/Repair 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GUTTERS

0402: Inspected From - Ground, Roof

0403: Access Restricted - Not Restricted

Service/Repair 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage. The gutters have debris in them and should be cleaned.

0405: Downspout Type - Aluminum

Service/Repair 0408: Splash Blocks - None

Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended.

ROOF

0502: How Inspected - Walk on Roof

0503: Roof Access Restricted - Not Restricted

0504: Roof Style - Gable

Service/Repair 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

ROOF

Tree limbs should be cut back from the roof. Raised areas of the sheathing was noted and should be repaired. Some waviness was noted.

0506: Approx. Age - 1 thru 5

0507: Number of Layers - 1

0508: Roof Ventilation System - Ridge, Soffit, Gable Vents

Missing sections of shingles were noted at the ridge vent and should be repaired.

0509: Flashing - Aluminum

0510: Valleys - Asphalt

0511: Plumbing Vents - PVC

CHIMNEY

0602: Chimney Inspected From - Roof

0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0604: Chimney 1 Type - Metal

Some rust was noted. Paint with `Rustoleum` or a similar product.

0605: Chimney 1 Location - Main

0608: Flue Lining - Metal

0609: Chimney Top - Metal

0610: Chimney Cap - Rain

COOLING

0701: COOLING SYSTEM - General Comment

Panasonic mini split systems (4) systems at unit 3 Improperly installed systems were noted. Condensation dripping from units at the time of the inspection The entire HVAC should be evaluated and all needed repairs should be made Carrier mini split Unit 1 4 Panasonic units 3yrs old Mini split 1 Carrier unit 3yrs old Mini split

0702: Cooling System 1 Brand - Trane

COOLING

- 0703: Cooling System 1 Tonnage - 5 Ton
- 0704: Cooling System 1 Approx. Age - 6
- 0705: Heat Pump - Air to Air
- 0706: Cooling System Coils and Fins - Clean
- 0707: Cooling System Electrical - Ext. Disconnect
- 0708: Cooling Lines - Insulation

Penetrations through siding should be sealed.

- 0709: Condensate Drain - Plastic

Condensate line is currently leaking at the basement unit and should be evaluated and repaired.

- 0711: Differential Temp 1 - Details

Return temp = 74 Supply temp = 60 Differential Temp = 14

ELECTRIC

- 0902: Main Electrical Service - Underground Lateral Cable
- 0903: Main Electrical Service Wire - Aluminum
- 0905: Voltage Available - 110 / 220
- 0906: Main Electrical Distribution Panel Accessibility - Typical
- 0907: Main Electrical Distribution Panel Location - Other
- Other = Suite 1
- 0908: Main Electrical Disconnect - Breaker
- 0909: Main Panel - 200, 2 Panel System
- 0911: Interior Wiring Visible Primary Type - Copper 90 percent
- 0912: Type of Wire Visible Primary Type - Romex
- 0913: Grounding - Driven Rod
- 0914: Breakers in Use - Room for Expansion

ELECTRIC

Satisfactory 0917: Inspection Sticker - Main Panel

Satisfactory 0918: Panel Schedule Filled in - Filled Out

Safety Concern 0919: Electrical Defaults - Main Panel

Double tapping was noted and should be repaired. Left panel. The missing panel cover knock out seals should be replaced. Right panel. Unused wiring in the right panel and should be made safe. Metal boxes mounted on foundation walls should have blocking behind them. Some rust was noted and should be repaired. Extension cords feeding devices in basement should be removed and replaced with permanent wiring. Some lights at unit 2 did not work and should be evaluated and repaired. Some lights did not work at unit 1 and should be evaluated and repaired. Condensation was noted at the light fixtures above the drop ceiling at unit 3. Source should be identified and all needed repairs should be made. Light fixtures should be further evaluated to ensure no damage to the fixtures.

Satisfactory 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

Satisfactory 1002: Water Source - Municipal

Satisfactory 1003: Municipal Main Supply Size - 3/4

Monitor/Maintain 1004: Municipal Main Supply Type - Copper

Some discoloration was noted.

Satisfactory 1005: Main Water Shut Off - Crawl Space

Satisfactory 1006: Main Gas Valve - Outside

Satisfactory 1007: Interior Water Pipes Primary Visible Type - Copper, CPVC

Satisfactory 1008: Waste System - Municipal

**Inspection
Definition/Limitation** 1009: Interior Waste/Vent Pipes Primary Visible Type - ABS, PVC

Most piping concealed supply and drain.

Satisfactory 1010: Number of Outside Spigots - 2

Monitor/Maintain 1011: Type of Outside Spigots - Frost Free, Unprotected

PLUMBING

Unprotected hose connections should be shut off and drained before first freeze each year.

W. HEATER

1103: Water Heater 1 Mfg. - Whirlpool

1105: Water Heater 1 Approx. Age - 5

1106: Water Heater 1 Size - Other

Other = 19

1107: Water Heater Fuel - Electric

An electrical connector was missing at the water heater and should be replaced.

1109: Water Heater Gas Piping - Valve On Off

The unit was fed with flex and it should be hard piped.

1110: Water Heater Cold Water Valve - Present

1111: Temp. Pressure Relief Valve and Pipe - Not present

Temp and pressure valve extension should be extended to within 6" of floor.

1113: Water Heater Exterior Jacket - OK

1114: Water Heater 2 Mfg. - Rheem

1115: Water Heater 2 Rated BTU Per Hour - 30,000 +

1116: Water Heater 2 Approx. Age - 3

1117: Water Heater 2 Size - 40

LAUNDRY

1201: LAUNDRY - General Comment

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1206: Laundry Water Faucets - Gate Type

1207: Washer Drains - Trapped Line

LAUNDRY

- 1208: Dryer Vented - Floor
- 1209: Laundry Energy Source - 220 Electric

FURNACE

- Monitor/Maintain** 1301: FURNACE - General Comment

It appears the mini splits at unit 2 and 3 supply both heating and cooling.

- 1302: Forced Air System 1 Mfg. - Trane
- 1303: Forced Air System 1 BTU Per Hour - 100,000 +
- 1304: Forced Air System 1 Approx. Age - 5
- 1305: Forced Air System Energy Source - Gas
- 1306: Hot Air System - Direct Drive
- 1307: Heat Exchanger Flame Pattern - Pass
- Inspection
Definition/Limitation** 1308: Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

- 1310: Distribution System Type - Side Flow
- Service/Repair** 1311: Distribution System Material - Metal Duct, Insul. Flex Duct, Insulated Duct Board

Missing vent cover was noted and should be repaired. Unit 3

- 1312: Thermostat - Single and Multi, Programmable
- 1313: Flue Piping - PVC
- 1317: Filter System - Disposable

BASEMENT

- 1502: Basement Type - Drug out Expanded
- Safety Concern** 1503: Basement Access - Other

Other = Bilco doors. Damage and loose steps were noted and should be repaired.

BASEMENT

Service/Repair 1504: Basement Foundation Walls Primary Visible type - Cement Block

Some cracks and water penetration noted. There was efflorescence on the walls.

Satisfactory 1505: Foundation Anchors - Anchor Bolts

Service/Repair 1506: Basement Floor - Cement

Some mud stains were noted and indicate water entry.

Satisfactory 1507: Basement Bridging - None

Satisfactory 1508: Basement Structural Columns Visible Primary Type - Bearing Wall

Satisfactory 1509: Basement Structural Beams Visible Primary Type - Wood

Satisfactory 1510: Basement Ceiling Sub Floor Visible Primary Type - Concealed

Safety Concern 1511: Basement Ceiling Joist Visible Primary Type - Conventional

Some mold/mildew was noted in the in framing and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Inspection Definition/Limitation 1512: Basement Insulation Visible Primary Type - Between Joist

Insulation limits inspection.

Safety Concern 1514: Basement Drainage - Sump Pump

Recommend adding cover.

CRAWL SPACE

Major Defect 1601: CRAWL SPACE - General Comment

There appears to be a moisture issue in the crawlspace. The entire crawlspace should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory 1602: Crawl Space Type - Combination

Satisfactory 1603: Crawl Space Access - Via Basement

CRAWL SPACE

Major Defect 1604: Crawl Space Foundation Walls - Cement Block

Some cracks and water penetration noted. There was efflorescence on the walls. Some horizontal cracks were noted and should be evaluated by a structural contractor and any needed repairs should be made.

1605: Crawl Space Bridging - None

Major Defect 1606: Crawl Space Structural Columns - Cement Block, Wood

The column is a temporary makeshift support and not properly footed. The entire structural condition should be evaluated by structural contractor or engineer and all needed repairs should be made

1607: Crawl Space Structural Beams - Wood

1608: Crawl Space Ceiling Sub Floor - Concealed

Safety Concern 1609: Crawl Space Ceiling Joist - Conventional

Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Service/Repair 1610: Crawl Space Insulation - Between Joist

Insulation limits inspection. Some insulation has fallen and should be replaced.

1611: Crawl Space Ventilation - Wall Vents

1612: Crawl Space Floor Vapor Barrier - Present

Major Defect 1613: Crawl Space Floor Type - Dirt

There was standing water on floor of crawl space at time of inspection, source of moisture should be identified and all need repairs to improve drainage and prevent further water intrusion should be made.

1614: Crawl Space Drainage - None

KITCHEN

1702: Kitchen Walls - Drywall

1703: Kitchen Ceiling - Drywall

1704: Kitchen Floors - Vinyl

1705: Kitchen Heating Source - Central

KITCHEN

Satisfactory	1706: Kitchen Cooling Source - Central
Satisfactory	1707: Kitchen Doors Windows - Tested
Satisfactory	1708: Kitchen Cabinets - Custom Wood
Satisfactory	1709: Kitchen Sink - Stainless
Satisfactory	1710: Kitchen Sink Faucet - Single Lever
Satisfactory	1711: Kitchen Sink 3rd Faucet - Sprayer
Satisfactory	1712: Kitchen Drain and Trap - PVC
Satisfactory	1720: Kitchen Wall Receptacles - GFI Protected
Satisfactory	1721: Kitchen Switches Fixtures - Fixed

HALF BATH

Service/Repair 1802: Half Bath Doors and Windows - Door/ Lock

Door does not latch shut. Unit 1 off the kitchen. Door would not close properly and should be repaired. Unit 3

Service/Repair 1803: Half Bath Electric Switches and Fixtures - Ceiling

Light was out at the fan light combo at unit 3 and should be repaired.

Satisfactory

 1804: Half Bath Receptacles - GFCI

**Inspection
Definition/Limitation** 1805: Half Bath Walls and Ceilings - Drywall, Drop Ceiling

Drop ceilings limit inspection as not all tiles are removed.

Satisfactory	1807: Half Bath Heating and Cooling - Central
Satisfactory	1808: Half Bath Sink Faucets - Individual, Single Lever
Satisfactory	1809: Half Bath Sink Stopper - Push Pull
Satisfactory	1810: Half Bath Sink Basin - Cast Marble, Porcelain
Satisfactory	1811: Half Bath Sink Drain and Trap - PVC
Satisfactory	1812: Toilet Bowl and Tank - 2 Piece
Satisfactory	1813: Toilet Operation - Flushes, Drains, Refills

HALF BATH

Satisfactory 1814: Half Bath Ventilation - Fan

Satisfactory 1815: Half Bath Floor - Vinyl

Satisfactory 1816: Number of Half Baths - 3

BATHROOM

Satisfactory 1902: Bathroom Doors, Windows - Door/ Lock

Satisfactory 1903: Bathroom Electric Switches and Fixtures - Ceiling

Satisfactory 1904: Bathroom Receptacles - GFCI

Satisfactory 1905: Bathroom Walls and Ceilings - Drywall

Satisfactory 1907: Bathroom Heating Cooling - Central Sys

Satisfactory 1908: Bathroom Sink Faucets - Individual

Satisfactory 1909: Bathroom Sink Stopper - Push Pull

Satisfactory 1910: Bathroom Sink Basin - Porcelain

Satisfactory 1911: Bathroom Sink Drain and Trap - PVC

Satisfactory 1912: Toilet Bowl and Tank - 2 Piece

Satisfactory 1913: Toilet Operation - Flushes, Drains, Refills

Satisfactory 1916: Bath Showerhead - Standard

Satisfactory 1919: Bathroom Ventilation - Fan

Satisfactory 1920: Bathroom Floor - Vinyl

Satisfactory 1921: Shower Stall Walls - Fiberglass

Satisfactory 1922: Shower Drain - Floor Drain Stall

Major Defect 1923: Shower Faucets - Single Lever

Shower faucet handle does not work properly nor does is get cold and should be evaluated and repaired. Unit 2

Satisfactory 1924: Number of Full Baths - 1

ATTIC

Inspection Definition/Limitation 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

Satisfactory 2003: Attic Entry Access - Stairway

Satisfactory 2004: Attic Access Location - Hallway

Satisfactory 2005: Attic Structural Framing Type - Trusses

Satisfactory 2006: Attic Structural Framing Spacing - 24 inches on Center

Safety Concern 2007: Attic Sheathing - Particle Board

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Satisfactory 2008: Attic Floor Insulation - Batt

Satisfactory 2009: Attic Insulation Thickness - 10 inches

Satisfactory 2010: Attic Insulation Approx. R. Value - 30

Major Defect 2011: Attic Ventilation - Ridge, Gable End, Soffit

Inadequate ventilation was noted in the attic. The entire attic/roofing system should be evaluated by a qualified contractor and all needed repairs should be made. Rust was noted at the nail heads.

Safety Concern 2012: Attic Wiring - Covered with Insulation

Hot exposed wiring was noted and should be repaired.

Satisfactory 2013: Attic Vent Pipes - Vented Outside

Inspection Definition/Limitation 2014: Attic Exhaust - Other

Other = Not visible.

INTERIOR

Major Defect 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted. Currently wet areas were noted at unit 3 hallway upper walls, unit 2 and the source should be identified and all needed repairs should be made.

INTERIOR

Major Defect 2105: Interior Ceilings - Other

Other = Drop ceilings limit inspection. Some sagging areas were noted and should be repaired. Unit 2 Some stains were noted and were dry at inspection. unit 1 Currently wet areas of the drop ceiling was noted. The source should be identified and all needed repairs should be made. Unit 3 Wet insulation was noted above the drop ceiling and should be replaced as needed. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

2106: Interior Floors - Vinyl

2110: Interior Heat Source - Tested

2111: Interior Cooling Source - Tested

2112: Interior Cabinets and Shelving - Accessible

2116: Closets/ Interior Doors - Doors in Place

Monitor/Maintain 2117: Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied. Its recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

2119: Stairways - With Hand Railings

Service/Repair 2122: Windows - Operated

Stripped crank at unit 3 window and should be repaired. Some missing cranks were noted and should be repaired. Unit 3 Some casement windows were difficult to open. Unit 3 Both side casement windows did not close properly and should be repaired. Unit 3. Right front window at unit 2 did not open and should be repaired.

2123: GFCI Rest - Reset

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.