



Reliable Home Inspection Service
100 Old Kennett Rd
Wilmington, DE 19807
302-993-9100
[https //www reliablehomeinspectionsservice com/](https://www.reliablehomeinspectionsservice.com/)

Printed [REDACTED]

Inspected By
[REDACTED]

Referral Information

Client Information [REDACTED]
[REDACTED]
[REDACTED]

Inspected [REDACTED]

FRONT VIEW



Inspection Summary

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Major Defect

GROUNDS

0208: Driveway/Parking Lot

Final coat was not installed at time of inspection.
Recommend to client to request documentation on completion date.



EXTERIOR

0309: Masonry Walls

Other= Faux stone.
Uncaulked casing bead noted. Some missing caulk joints noted. Some missing mortar was noted. All exterior walls should be evaluated by qualified contractor and all needed repairs made.



Major Defect



Major Defect



Safety Concern

EXTERIOR

0302: Outside Outlets

The right elevation GFCI would not trip when tested and should be repaired



GARAGE

0811 Garage Interior Walls

All gaps and seams in fire rated walls should be sealed with fire rated materials.



Safety Concern



0919: Electrical Defaults

Missing panel cover screw was noted and should be replaced.

BATHROOM

1904: Bathroom Receptacles

Burn marks noted on outlet and should be evaluated and repaired.



ATTIC

2005: Attic Structural Framing Type

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection, the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Service/Repair

GROUNDS

0206: Porches

Loose casing on post was noted and should be repaired.



EXTERIOR

0308: Siding

Missing siding trim noted and should be installed.
Some loose siding was noted and should be replaced.
Some damaged siding was noted. All should be included in the exterior wall evaluation and repairs. All fasteners should be sealed.



EXTERIOR

0310: Trim Work

Some loose trim was noted and should be repaired.



EXTERIOR

0316 Additional Windows

Missing casing was noted and should be repaired
Poorly fitting windows were noted and should be repaired
All windows should be included in the exterior wall evaluation and repairs.



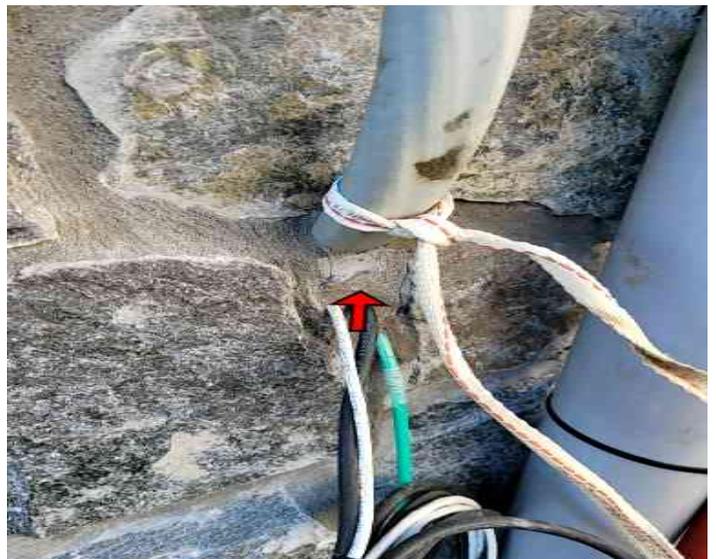
Service/Repair



EXTERIOR

0320: Caulking

Caulking should be improved.



Service/Repair



GUTTERS

0408: Splash Blocks

Splash blocks should be reversed.

Better Splash blocks or run off drains should be added.



ROOF

0505: Roof Covering Primary Type

Metal roofs are not walked as part of home inspection due to possible damage to roofing
Some scuffing and aggregate loss noted and should be monitored

Some sealant was noted on the roof surface and will require maintenance

A few cracked/damaged shingles were noted.



COOLING

0708: Cooling Lines

The insulation should be improved.



W. HEATER

1111 Temp Pressure Relief Valve and Pipe

Expansion tank should be better supported



1702 Kitchen Walls

Back splash should be caulked

BATHROOM

1902: Bathroom Doors, Windows

Door would not close properly and should be repaired.



Master bathroom door

INTERIOR

2104: Interior Walls

Typical drywall flaws were noted. Water stains/damage were noted but were dry at the time of the inspection. Some damaged trim was noted. Some poorly finished areas were noted. All should be repaired.



Service/Repair

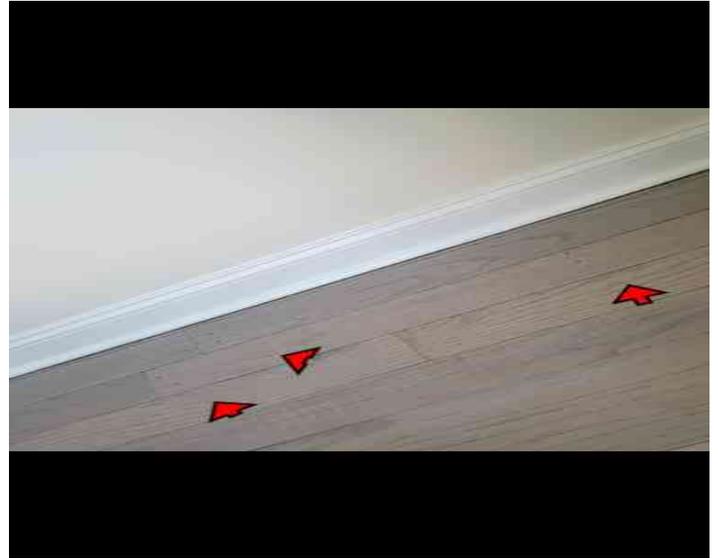


Master bedroom window

INTERIOR

2106: Interior Floors

Poorly installed flooring was noted and should be repaired. Mismatched stains were noted and should be corrected.

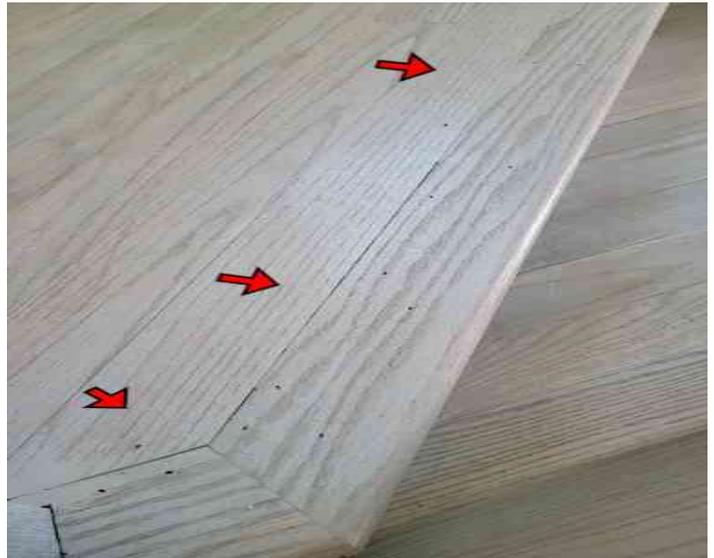


Stair mid landing



Stair mid landing

Service/Repair



Monitor/Maintain

GROUNDSS

0204: Steps

Cracks and some settlement noted.

0304: Exposed Foundation Primary Visible Type

Some cracks noted.

0307: Grading

Soil should be sloped away from house to improve drainage.

0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.

2105: Interior Ceilings

Typical drywall flaws were noted.

2117: Smoke Detectors

Smoke detectors should be checked on the day home is occupied. Its recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

Inspection Definition/Limitation

PLUMBING

1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

PLUMBING

1017: Sewer Injector Pump

Basement is plumbed for an additional bathroom.



1201: LAUNDRY

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

1501: BASEMENT

Inspection limited by stored items.

1507: Basement Bridging

Other = concealed.

1511: Basement Ceiling Joist Visible Primary Type

Other = concealed.

1512: Basement Insulation Visible Primary Type

Inspection limited by insulation.

1513: Basement Wall Finish

Inspection limited by finished areas.

Inspection Definition/Limitation

1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2101: INTERIOR ROOMS

Inspection limited by stored items.

Inspection Definition/Limitation

2201: Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

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Inspection Report Details

GROUNDS

0203: Walks - Concrete

0204: Steps - Concrete

Cracks and some settlement noted.

0206: Porches - Wood and Concrete

Loose casing on post was noted and should be repaired.

0207: Decks - P.T. Wood

0208: Driveway/Parking Lot - Asphalt

Final coat was not installed at time of inspection. Recommend to client to request documentation on completion date.

EXTERIOR

0302: Outside Outlets - Tested

The right elevation GFCI would not trip when tested and should be repaired.

0303 Type of Building Frame, 2 Story

0304 Exposed Foundation Primary Visible Type Poured Concrete

Some cracks noted

0306: Soffit\Fascia - Aluminum, Vinyl

0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

0308 Siding Vinyl

Missing siding trim noted and should be installed Some loose siding was noted and should be replaced Some damaged siding was noted All should be included in the exterior wall evaluation and repairs. All fasteners should be sealed

0309: Masonry Walls - Other

EXTERIOR

Other Faux stone Uncaulked casing bead noted Some missing caulk joints noted Some missing mortar was noted. All exterior walls should be evaluated by qualified contractor and all needed repairs made.

Service/Repair 0310 Trim Work Aluminum, Vinyl

Some loose trim was noted and should be repaired

0311: Entry Doors - Wood Solid Core

0313: Patio Doors - Vinyl, Sliding

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung

Service/Repair 0316: Additional Windows - Mixed Windows

Missing casing was noted and should be repaired. Poorly fitting windows were noted and should be repaired. All windows should be included in the exterior wall evaluation and repairs

0317: Glass - Insulated

0318: Windows Storm\Screen - MFG Screens

0319: Weather Stripping - Rubber\Vinyl

Service/Repair 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GUTTERS

0402: Inspected From - Ground, Roof

Monitor/Maintain 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

0405: Downspout Type - Aluminum

Service/Repair 0408: Splash Blocks - Concrete

Splash blocks should be reversed. Better Splash blocks or run off drains should be added.

ROOF

0502: How Inspected - Walk on Roof

ROOF

Satisfactory 0503: Roof Access Restricted - Not Restricted

Satisfactory 0504: Roof Style - Gable

Service/Repair 0505: Roof Covering Primary Type - Fiberglass asphalt shingle, Metal

Metal roofs are not walked as part of home inspection due to possible damage to roofing. Some scuffing and aggregate loss noted and should be monitored. Some sealant was noted on the roof surface and will require maintenance. A few cracked/damaged shingles were noted.

Satisfactory 0506: Approx. Age - 1 thru 5

Satisfactory 0507: Number of Layers - 1

Satisfactory 0508: Roof Ventilation System - Ridge, Roof

Satisfactory 0509: Flashing - Aluminum

Satisfactory 0510: Valleys - Asphalt

Satisfactory 0511: Plumbing Vents - PVC

Satisfactory 0512: Skylight - Insulate Glass

COOLING

Satisfactory 0702: Cooling System 1 Brand - Lennox

Satisfactory 0703: Cooling System 1 Tonnage - 3.5 Ton

Satisfactory 0704: Cooling System 1 Approx. Age - 1

Satisfactory 0706: Cooling System Coils and Fins - Clean

Satisfactory 0707: Cooling System Electrical - Ext. Disconnect

Service/Repair 0708: Cooling Lines - Insulation

The insulation should be improved.

Satisfactory 0709: Condensate Drain - Plastic

Satisfactory 0711: Differential Temp 1 - Details

Return temp = 68 Supply temp = 45 Differential Temp = 23

GARAGE

Satisfactory 0802: Garage Type - 2 Car Attached

GARAGE

Satisfactory	0803 Garage Exterior Walls Same as House
Satisfactory	0809 Garage Electrical System GFCI
Satisfactory	0810 Auto Garage Door Lift Controls Auto Opener, Electronic Eye
Safety Concern	0811 Garage Interior Walls Drywall\Plaster

All gaps and seams in fire rated walls should be sealed with fire rated materials

Satisfactory	0812: Garage Interior Ceiling - Drywall\Plaster
Satisfactory	0813: Garage Floor - Concrete
Satisfactory	0814: Garage Doors - Overhead, Swing

ELECTRIC

Satisfactory	0902: Main Electrical Service - Underground Lateral Cable
Satisfactory	0903: Main Electrical Service Wire - Aluminum
Satisfactory	0905: Voltage Available - 110 / 220
Satisfactory	0906: Main Electrical Distribution Panel Accessibility - Typical
Satisfactory	0907: Main Electrical Distribution Panel Location - Basement
Satisfactory	0908: Main Electrical Disconnect - Breaker
Satisfactory	0909: Main Panel - 200
Satisfactory	0911: Interior Wiring Visible Primary Type - Copper 90 percent
Satisfactory	0912: Type of Wire Visible Primary Type - Romex
Satisfactory	0913: Grounding - Driven Rod
Satisfactory	0914: Breakers in Use - Room for Expansion
Satisfactory	0917: Inspection Sticker - Main Panel
Satisfactory	0918: Panel Schedule Filled in - Filled Out
Safety Concern	0919: Electrical Defaults - Main Panel

ELECTRIC

Missing panel cover screw was noted and should be replaced.

0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

1002: Water Source - Municipal

1003: Municipal Main Supply Size - 3/4

1004: Municipal Main Supply Type - Plastic

1005: Main Water Shut Off - Basement

1006: Main Gas Valve - Outside

1007: Interior Water Pipes Primary Visible Type - PEX

1008: Waste System - Municipal

1009: Interior Waste/Vent Pipes Primary Visible Type - PVC

Most piping concealed supply and drain.

1010: Number of Outside Spigots - 3

1011: Type of Outside Spigots - Frost Free

1017: Sewer Injector Pump - Other

Basement is plumbed for an additional bathroom.

W. HEATER

1103: Water Heater 1 Mfg. - Rheem

1104: Water Heater 1 Rated BTU Per Hour - 30,000 +

1105: Water Heater 1 Approx. Age - 1

1106: Water Heater 1 Size - 50

1107: Water Heater Fuel - Gas

1108: Water Heater Flue Pipe - Direct Vent

W. HEATER

Satisfactory	1109	Water Heater Gas Piping	Valve On Off
Satisfactory	1110	Water Heater Cold Water Valve	Present
Service/Repair	1111	Temp Pressure Relief Valve and Pipe	Present

Expansion tank should be better supported

Satisfactory	1113:	Water Heater Exterior Jacket - OK
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LAUNDRY

Inspection Definition/Limitation	1201:	LAUNDRY - General Comment
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Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

Satisfactory	1203:	Laundry Sink - Plastic
Satisfactory	1204:	Laundry Sink Faucets - Tested
Satisfactory	1205:	Laundry Sink Drain Trap - PVC
Satisfactory	1206:	Laundry Water Faucets - Gate Type
Satisfactory	1207:	Washer Drains - Trapped Line
Satisfactory	1208:	Dryer Vented - Floor
Satisfactory	1209:	Laundry Energy Source - 220 Electric

FURNACE

Satisfactory	1302	Forced Air System 1 Mfg	Lennox
Satisfactory	1303	Forced Air System 1 BTU Per Hour	85,000 +
Satisfactory	1304	Forced Air System 1 Approx Age	1
Satisfactory	1305	Forced Air System Energy Source	Gas
Satisfactory	1306	Hot Air System	Direct Drive
Satisfactory	1307	Heat Exchanger Flame Pattern	Pass
Inspection Definition/Limitation	1308	Heat Exchanger Visual	Pass

FURNACE

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Satisfactory	1310 Distribution System Type Up Flow
Satisfactory	1311 Distribution System Material Metal Duct
Satisfactory	1312 Thermostat Programmable
Satisfactory	1313 Flue Piping PVC
Satisfactory	1317 Filter System Disposable

BASEMENT

Inspection Definition/Limitation 1501: BASEMENT - General Comment

Inspection limited by stored items.

Satisfactory	1502: Basement Type - Full Basement
Satisfactory	1503: Basement Access - Interior Stairs, Other

Other = Walk out

Monitor/Maintain 1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration.

Satisfactory	1505: Foundation Anchors - Anchor Bolts
Satisfactory	1506: Basement Floor - Cement

Inspection Definition/Limitation 1507: Basement Bridging - Other

Other = concealed.

Satisfactory	1508: Basement Structural Columns Visible Primary Type - Steel, Bearing Wall
Satisfactory	1509: Basement Structural Beams Visible Primary Type - Steel
Satisfactory	1510: Basement Ceiling Sub Floor Visible Primary Type - Concealed

Inspection Definition/Limitation 1511: Basement Ceiling Joist Visible Primary Type - Other

BASEMENT

Other concealed

Inspection Definition/Limitation 1512: Basement Insulation Visible Primary Type - Perimeter Walls

Inspection limited by insulation.

Inspection Definition/Limitation 1513: Basement Wall Finish - Drywall, Partially Finished

Inspection limited by finished areas.

1514: Basement Drainage - Sump Pump

KITCHEN

Service/Repair 1702 Kitchen Walls Drywall, Tile

Back splash should be caulked

1703: Kitchen Ceiling - Drywall

1704: Kitchen Floors - Wood

1705: Kitchen Heating Source - Central

1706: Kitchen Cooling Source - Central, Window

1707: Kitchen Doors Windows - Tested

1708: Kitchen Cabinets - Laminate

1709: Kitchen Sink - Cast Iron Porcelain

1710: Kitchen Sink Faucet - Single Lever

1711: Kitchen Sink 3rd Faucet - Sprayer

1712: Kitchen Drain and Trap - PVC

1713: Garbage Disposal - Continuous Feed

1714: Dishwasher Approx. Age - 1/5

1715: Dishwasher Mfg. - Kitchenaid

1716: Trash Compactor - None

1717: Exhaust Fan Hood - Hood Exhaust

KITCHEN

Inspection Definition/Limitation

1718: Range Oven - Drop In

Self cleaning if on stove not part of inspection and will not be tested.

Satisfactory

1719: Surface Cooktop - Gas

Satisfactory

1720: Kitchen Wall Receptacles - GFI Protected

Satisfactory

1721: Kitchen Switches Fixtures - Recessed, Hanging

HALF BATH

Satisfactory

1802: Half Bath Doors and Windows - Door/ Lock

Satisfactory

1803: Half Bath Electric Switches and Fixtures - Wall

Satisfactory

1804: Half Bath Receptacles - GFCI

Satisfactory

1805: Half Bath Walls and Ceilings - Drywall

Satisfactory

1806: Half Bath Exhaust System - Elect Fan Outdoors

Satisfactory

1807: Half Bath Heating and Cooling - Central

Satisfactory

1808: Half Bath Sink Faucets - Individual

Satisfactory

1809: Half Bath Sink Stopper - Lever

Satisfactory

1810: Half Bath Sink Basin - Other

Other = Pedestal sink.

Satisfactory

1811: Half Bath Sink Drain and Trap - PVC

Satisfactory

1812: Toilet Bowl and Tank - 2 Piece

Satisfactory

1813: Toilet Operation - Flushes, Drains, Refills

Satisfactory

1814: Half Bath Ventilation - Fan

Satisfactory

1815: Half Bath Floor - Wood

Satisfactory

1816: Number of Half Baths - 1

BATHROOM

Service/Repair

1902: Bathroom Doors, Windows - Door/ Lock

BATHROOM

Door would not close properly and should be repaired.

1903: Bathroom Electric Switches and Fixtures - Wall

1904: Bathroom Receptacles - GFCI

Burn marks noted on outlet and should be evaluated and repaired.

1905: Bathroom Walls and Ceilings - Drywall

1906: Bathroom Exhaust System - Elec. Fan Outdoors

1907: Bathroom Heating Cooling - Central Sys

1908: Bathroom Sink Faucets - Individual

1909: Bathroom Sink Stopper - Lever

1910: Bathroom Sink Basin - Cast Marble

1911: Bathroom Sink Drain and Trap - PVC

1912: Toilet Bowl and Tank - 2 Piece

1913: Toilet Operation - Flushes, Drains, Refills

1914: Bathtub Faucets - Single Lever

1915: Bathtub Stopper - Pop Up

1916: Bath Showerhead - Standard

1918: Tub Wall Encl. - Ceramic

1919: Bathroom Ventilation - Fan

1920: Bathroom Floor - Ceramic

1921: Shower Stall Walls - Ceramic Tile

1922: Shower Drain - Floor Drain Stall, Tub

1923: Shower Faucets - Single Lever, Tub

1924: Number of Full Baths - 2

ATTIC

Inspection Definition/Limitation 2002 Attic Accessibility Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2003 Attic Entry Access Hatch

2004 Attic Access Location Bedroom

Safety Concern 2005 Attic Structural Framing Type Trusses

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

2006: Attic Structural Framing Spacing - 24 inches on Center

2007: Attic Sheathing - Plywood, Particle Board

2008: Attic Floor Insulation - Blown, Fiberglass, Batt

2009: Attic Insulation Thickness - 10 inches

2010: Attic Insulation Approx. R. Value - 30

2011: Attic Ventilation - Ridge, Soffit

2012: Attic Wiring - Exposed, Covered with Insulation

2013: Attic Vent Pipes - Vented Outside

INTERIOR

Inspection Definition/Limitation 2101: INTERIOR ROOMS - General Comment

Inspection limited by stored items.

2102: Interior - Living Room, Dining Room, Family Room, Hallway Entry

2103: Number of Bedrooms - 3

Service/Repair 2104: Interior Walls - Dry Wall

INTERIOR

Typical drywall flaws were noted. Water stains/damage were noted but were dry at the time of the inspection. Some damaged trim was noted. Some poorly finished areas were noted. All should be repaired.

Monitor/Maintain 2105 Interior Ceilings Dry Wall

Typical drywall flaws were noted

Service/Repair 2106: Interior Floors - Wood

Poorly installed flooring was noted and should be repaired. Mismatched stains were noted and should be corrected.

2107 Interior Switches Tested

2108 Interior Fixtures Properly Wired

2109 Interior Outlets Three Prong Grounded

2110 Interior Heat Source Tested

2111 Interior Cooling Source Tested

2112 Interior Cabinets and Shelving Accessible

2113 Interior Fire Place 1 Heatalator

2116 Closets/ Interior Doors Doors in Place

Monitor/Maintain 2117 Smoke Detectors One On Each Level

Smoke detectors should be checked on the day home is occupied. It's recommended and required in some areas to have one smoke detector in each bedroom and one in hall within 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor; these are minimums.

2119 Stairways With Hand Railings

2121 Skylight No Evidence of Leakage

2122 Windows Operated

2123 GFCI Rest Reset

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Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not expert in any specific field, and further evaluation are often needed. Qualified expert should be chosen carefully, and should be allowed to thoroughly inspect the entire property and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliance, roof, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should have generally satisfactory service within the limit of its age and any defect or current problem noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any question related to the home or its maintenance for the time that you own the property. The "Whole Home Inspection" is conducted according to the standard set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might affect your decision whether to purchase. Unfortunately, we cannot take away all the risk of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observation only. The inspector may not move furniture and personal property or dismantle any appliance aside from removing cover on heater, electrical panel, etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observation of the apparent condition at the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor who is licensed to authorize the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defect or concern mentioned in this report. This report is not a warranty or guarantee, expressed or implied. There are warranty programs that may be obtained inure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the document provided with the warranty program carefully. Home buyer, after occupying the home, sometimes overlook important information and warnings contained in their report. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advice, and recommendation had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspector's report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in a fee-in-proposal offered by contractor for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.