



**RELIABLE HOME INSPECTION SERVICE**  
**100 OLD KENNETT ROAD**  
**WILMINGTON, DE 19807**  
**302-993-9100**

Printed Monday, May 1, 2017

Inspected By:  
**John Kerrigan ASHI # 102225**

Referral Information  
**XXXXX**

Client Information: Record Number 96729085

**XXXXX**

**XXXXX**

**CHADDS FORD, PA 19317**

Inspected 5/1/17 9:00 AM

FRONT VIEW

*PHOTO*



# Inspection Summary

RELIABLE HOME INSPECTION SERVICE  
100 OLD KENNETT ROAD  
WILMINGTON, DE 19807  
302-993-9100

Record 96729085 - XXXXX, CHADDS FORD, PA 19317

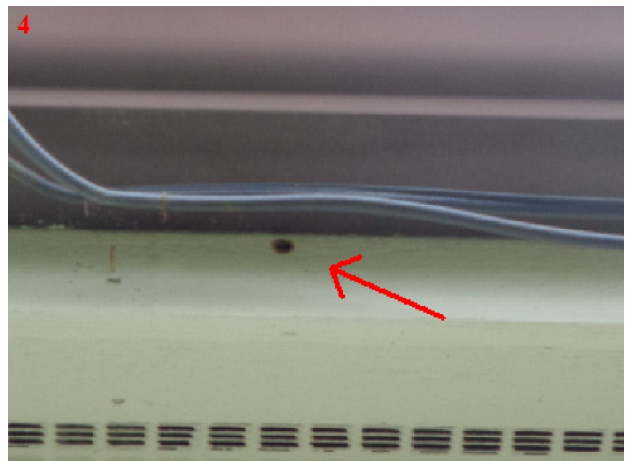
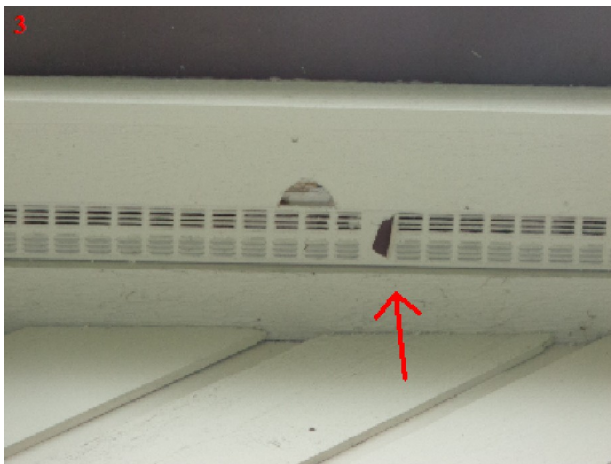
## Major Defect

### EXTERIOR

#### Soffit\Fascia

Some loose paint and wood rot noted. Insect damage and some rot noted

All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.





# Major Defect

## Siding

Rot noted in siding and trim also some insect damage and staining some rot were siding meets deck and in other areas  
Siding makes soil contact and grade should be adjusted to allow 6 to 8 inches of clearance above soil line.  
All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.



# Major Defect





# Major Defect

## Trim Work

Some loose paint and wood rot noted. Some rotted trim noted and should be repaired.



# Major Defect

## Patio Doors

Damaged door noted and should be evaluated repaired.





# Major Defect

## ROOF

### Roof Covering

Large number of curled shingles,  
The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.



# Major Defect

## CHIMNEY

### Chimney 1 Type

Insect damage and some rot noted and should be evaluated and all needed repairs made.



## GARAGE

### Garage Exterior Walls

See siding ,soffit and fascia and roof.





# Major Defect

## BASEMENT

### Basement Wall Finish

Inspection limited by finished areas. Some stains noted and were wet near stairs and damage from water noted some stains not wet and sho

Currently wet areas noted in wall finish and source of wetness should be identified and repaired.

Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Some water damage to bar area. Some carpet damage noted.



# Major Defect



## INTERIOR

### Skylight

Stains were noted but were not wet at the time of inspection. Condensation was noted between insulated window panes and should be repaired at sky lights in master and kitchen and all glass should be evaluated and all glass with damaged sealed noted..





# Major Defect

## Windows

Some windows would not open and close properly and should be repaired some bad gear boxes.



# Major Defect





# Safety Concern

## EXTERIOR

### Outside Outlets

Loose outlet noted.



# Safety Concern

## GROUNDS

### Decks

Some rot noted to posts and some rot noted where deck meets house and should be repaired see siding Some rust noted in joist hangers and  
Objects larger than 4" (102 mm) should not pass through rails or ornamental closures. Some bowing and checking noted.



## GARAGE

### GARAGE

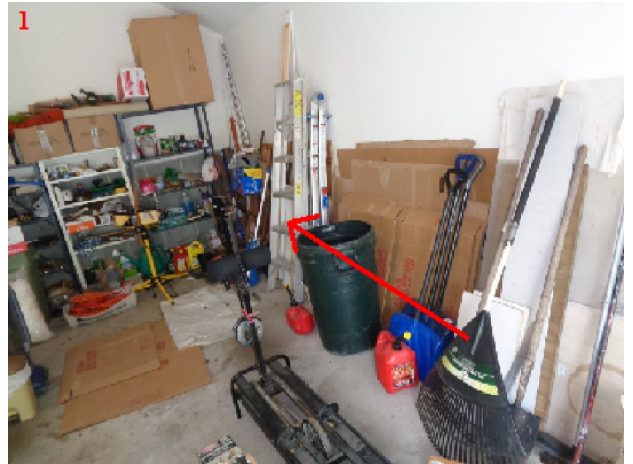
Under side of closet not drywalled and is not living space.



# Safety Concern

## Garage Interior Walls

The inspection was limited by stored items.



## ELECTRIC

### ELECTRICAL SYSTEM

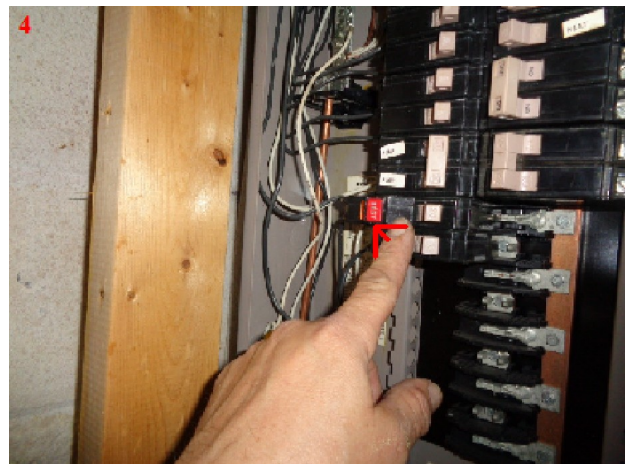
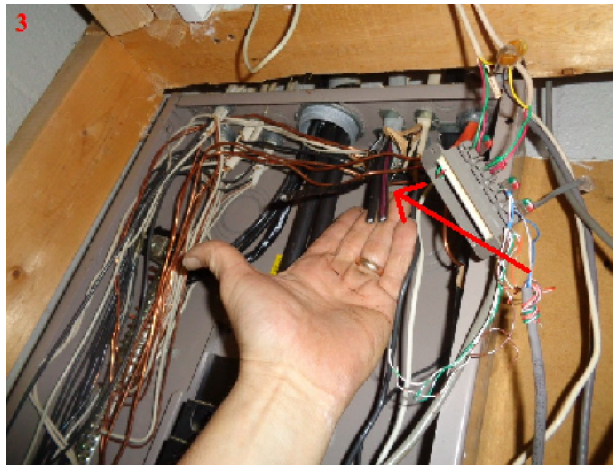
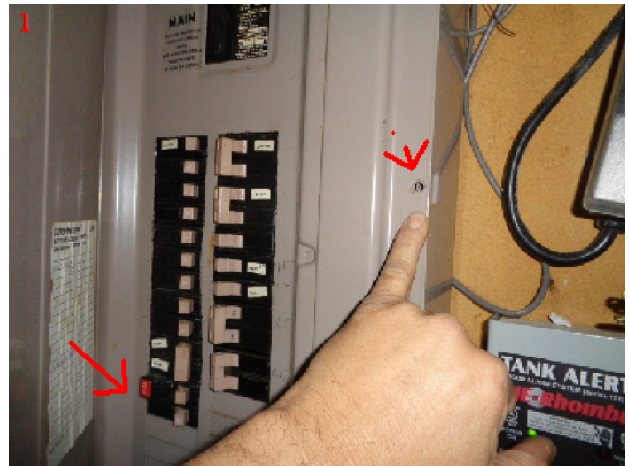
Limited access to panels should be improved. 3ft is considered min.  
Unused wires should be made safe.



# Safety Concern

## Electrical Defaults

GFCI breaker should not trip and should be repaired.  
Missing panel cover screws were noted and should be replaced. Cut off wires should be made safe.





# Safety Concern

## BASEMENT

### Basement Ceiling Joist

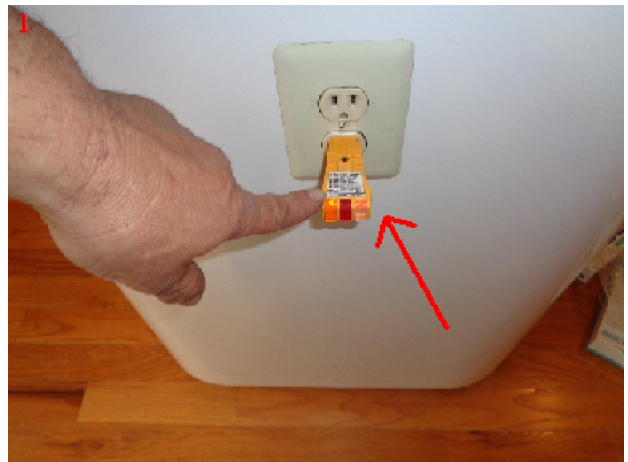
As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



## KITCHEN

### Kitchen Wall Receptacles

The GFCI protection should be installed for all counter top receptacles.



# Safety Concern

## HALF BATH

### Half Bath Receptacles

Recommend GFCI protection near water.



## ATTIC

### Attic Sheathing

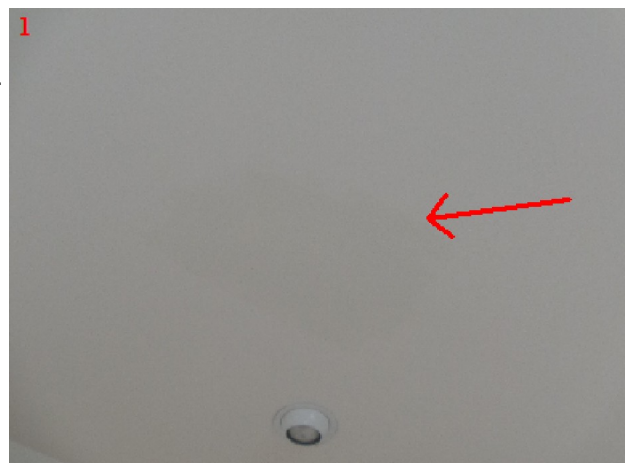
Water damage and some bowing noted in the sheathing behind the siding but not wet at the time of the inspection and should be monitored or evaluated and repaired. Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## INTERIOR

### Interior Ceilings

Typical drywall flaws were noted. Some damage and stains noted but not wet at the time of the inspection. Some stains could not be reached and were not checked.





# Service/Repair

## EXTERIOR

### EXTERIOR

Bushes/Trees should be kept cut back from home.



### Exposed Foundation

Some cracks noted. Loose and missing parging noted.



### Grading

Soil should be sloped away from house to improve drainage.



## Service/Repair

### Masonry Walls

All gaps should be sealed.  
The joint between the stonework and the siding should be sealed to prevent moisture penetration to the wood sheathing.



### Entry Doors

Some rust noted.





# Service/Repair

## Additional Windows

Some would not open



# GROUNDS

## Steps

Cracks and some settlement noted.  
Uneven areas present a tripping hazard and should be repaired.



# Service/Repair

## Driveway

Some cracks noted.



# CHIMNEY

## Chimney 2 Type

Some cracks and stains noted and should be repaired.





## Service/Repair

### GARAGE

#### Garage Doors

Some rot noted and should be repaired.



### PLUMBING

#### Interior Visible Water Pipes

Some discoloration was noted.

### FURNACE

#### Distribution System Material

Open duct run in basement should be repaired.



## Service/Repair

### BASEMENT

#### Basement Foundation Walls

Some cracks and water penetration noted.



### KITCHEN

#### Kitchen Cabinets

Some loose hardware noted.



#### Garbage Disposal

Septic systems are often damaged by the use of disposals and the owner should be cautious in their use.



## Service/Repair

### BATHROOM

#### Bathroom Walls and Ceilings

Some water at vent fan and should be repaired.

#### Bathroom Sink Stopper

Some would not seal.



#### Bathroom Sink Basin

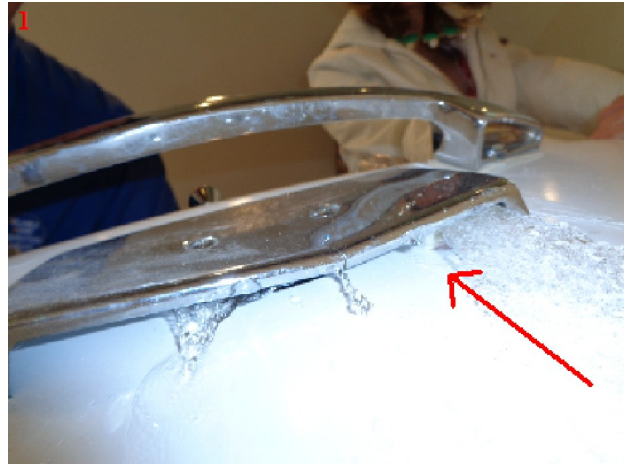
As found in most homes in America some possible mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



# Service/Repair

## Bathtub Faucets

Leak noted and should be repaired. Hot and cold reverse in princess bath.



## Bathroom Ventilation

One bad gear box noted.



## Service/Repair

### ATTIC

#### Attic Structural Framing Spacing

Missing nails noted in joist hangers and should be repaired.



### INTERIOR

#### Visible Flues and DMPs

Zero clearance should be cleaned.

## Monitor/Maintain

### EXTERIOR

#### Caulking

Caulking should be improved.

### GUTTERS

#### Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

#### Splash Blocks

Splash blocks or run off drains should be added.

### CHIMNEY

#### Chimney Top

Some cracks noted in chimney top.

## Monitor/Maintain

### INTERIOR

#### Smoke Detectors

Smoke detectors should be checked on the day home is occupied.

#### Interior Walls

Typical drywall flaws were noted.

## Inspection Definition/Limitation

### GUTTERS

#### Runoff Drains

Location and condition of underground drains unknown.

### ROOF

#### Roof Access Restricted

Roof was not walked due to material types.

### CHIMNEY

#### Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Unable to view interior of chimney due to height.

#### Chimney Cap

Unable to view into chimney due to cap.

# Inspection Definition/Limitation

## PLUMBING

### PLUMBING

Poorly supported and rusted gas line should be repaired.  
The water treatment system not part of this home inspection. Some cut off piping.



### Water Source

No well test done on this property during the home inspection.

### Waste System

No test performed on septic system and is not a part of the home inspection.

### Interior Waste/Vent Pipes

Most piping concealed supply and drain.



# Inspection Definition/Limitation

## Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

## FURNACE

### Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

## BASEMENT

### BASEMENT

inspection limited by stored items fully finish..

### Basement Structural Beams

No access.

### Basement Insulation

Insulation limits inspection.

### Basement Drainage

Walled off area noted under built in de humidifier and should be checked to determine were pipe drains to.



## KITCHEN

### Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

# Inspection Definition/Limitation

## INSPECTION DEFINITIONS/LIMITATION

### Inspection Description/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

# Inspection Report Details

Record 96729085 - XXXXX, CHADDS FORD, PA 19317

## EXTERIOR

**Service/Repair**    **EXTERIOR - General Comment**

Bushes/Trees should be kept cut back from home.

**Safety Concern**    **Outside Outlets - Sample Number Tested**

Loose outlet noted.

**Satisfactory**    **Type of Home - Frame, Stone Veneer**

**Service/Repair**    **Exposed Foundation - Cement Block**

Some cracks noted. Loose and missing parging noted.

**Major Defect**    **Soffit\Fascia - Wood**

Some loose paint and wood rot noted. Insect damage and some rot noted  
All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.

**Service/Repair**    **Grading - Inadequate**

Soil should be sloped away from house to improve drainage.

**Major Defect**    **Siding - Wood, Vinyl**

Rot noted in siding and trim also some insect damage and staining some rot were siding meets deck and in other areas  
Siding makes soil contact and grade should be adjusted to allow 6 to 8 inches of clearance above soil line.  
All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.

**Service/Repair**    **Masonry Walls - Stone**

All gaps should be sealed.  
The joint between the stonework and the siding should be sealed to prevent moisture penetration to the wood sheathing.

**Major Defect**    **Trim Work - Wood**

Some loose paint and wood rot noted. Some rotted trim noted and should be repaired.

**Service/Repair**    **Entry Doors - Metal**

Some rust noted.

**Major Defect**    **Patio Doors - Sliding**

Damaged door noted and should be evaluated repaired.

**Satisfactory**    **Window Character Material - Vinyl Clad**

**Satisfactory**    **Window Character Type - Casement**

**Service/Repair**    **Additional Windows - Mixed Windows**

Some would not open

**Satisfactory**    **Glass - Insulated**

**Satisfactory**    **Windows Storm\Screen - MFG Screens**

**Satisfactory**    **Weather Stripping - Rubber\Vinyl**



## EXTERIOR

**Monitor/Maintain** Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

## GROUNDS

**Satisfactory** Walks - Pre-Cast

**Service/Repair** Steps - Concrete

Cracks and some settlement noted.  
Uneven areas present a tripping hazard and should be repaired.

**Safety Concern** Decks - P.T. Wood

Some rot noted to posts and some rot noted were deck meets house and should be repaired see siding Some rust noted in joist hangers and  
Objects larger than 4" (102 mm) should not pass through rails or ornamental closures. Some bowing and checking noted.

**Service/Repair** Driveway - Asphalt

Some cracks noted.

## GUTTERS

**Satisfactory** Inspected From - Ground

**Satisfactory** Access Restricted - Not Restricted

**Monitor/Maintain** Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

**Satisfactory** Downspout Type - Aluminum

**Satisfactory** Sealed Downspouts - Some

**Inspection Definition/Limitation** Runoff Drains - Plastic

Location and condition of underground drains unknown.

**Monitor/Maintain** Splash Blocks - Concrete

Splash blocks or run off drains should be added.

## ROOF

**Satisfactory** How Inspected - From Ground

**Inspection Definition/Limitation** Roof Access Restricted - Type of Material

Roof was not walked due to material types.

## ROOF

**Satisfactory** Roof Style - Gable

**Major Defect** Roof Covering - Wood Shingle

Large number of curled shingles,  
The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.

**Satisfactory** Approx. Age - 10 thru 15

**Satisfactory** Number of Layers - Unknown

**Satisfactory** Roof Ventilation System - Soffit

**Satisfactory** Flashing - Copper

**Satisfactory** Plumbing Vents - PVC

**Satisfactory** Skylight - Insulate Glass

**Satisfactory** Valleys - Copper

## CHIMNEY

**Satisfactory** Chimney Inspected From - Other

Ground

**Inspection Definition/Limitation** Access Restricted - Cap Installed, Height

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Unable to view interior of chimney due to height.

**Major Defect** Chimney 1 Type - Wood Wrapped

Insect damage and some rot noted and should be evaluated and all needed repairs made.

**Satisfactory** Chimney 1 Location - Fireplace

**Service/Repair** Chimney 2 Type - Block, Stucco

Some cracks and stains noted and should be repaired.

**Satisfactory** Chimney 2 Location - Main, Fireplace

**Satisfactory** Flue Lining - Clay Tile, Metal

**Monitor/Maintain** Chimney Top - Cement

Some cracks noted in chimney top.

## CHIMNEY

**Inspection  
Definition/Limitati  
on**

**Chimney Cap - Rain**

Unable to view into chimney due to cap.

## COOLING

Satisfactory

**Cooling System 1 Brand - Lennox**

Satisfactory

**Cooling System 1 Tonnage - 5 Ton**

Satisfactory

**Cooling System 1 Approx. Age - 6**

Satisfactory

**Cooling System Coils and Fins - Clean**

Satisfactory

**Cooling System Electrical - Ext. Disconnect**

Satisfactory

**Cooling Lines - Insulation**

Satisfactory

**Condensate Drain - Plastic**

Satisfactory

**Differential Temp 1 - Details**

Return temp = 71    Supply temp = 51    Differential Temp = 20

Satisfactory

**Cooling System 2 Brand - Lennox**

Satisfactory

**Cooling System 2 Approx. Age - 6**

Satisfactory

**Cooling System 2 Tonnage - 3 Ton**

Satisfactory

**Differential Temp 2 - Details**

Return temp = 72    Supply temp = 52    Differential temp = 20

## GARAGE

**Safety Concern**

**GARAGE - General Comment**

Under side of closet not drywalled and is not living space.

Satisfactory

**Garage Type - 2 Car Attached**

**Major Defect**

**Garage Exterior Walls - Same as House**

See siding ,soffit and fascia and roof.



## GARAGE

- Satisfactory **Garage Fascia\Soffit - Wood**
  
- Satisfactory **Garage Guttering - Aluminum**
  
- Satisfactory **Garage Windows - Vinyl Clad**
  
- Satisfactory **Garage Electrical System - GFCI**
  
- Satisfactory **Auto Garage Door Lift Controls - Auto Opener, Electronic Eye, Hand Transmitter**
  
- Safety Concern** **Garage Interior Walls - Drywall\Plaster**  
The inspection was limited by stored items.
  
- Satisfactory **Garage Interior Ceiling - Drywall\Plaster**
  
- Satisfactory **Garage Floor - Concrete**
  
- Service/Repair** **Garage Doors - Wood\Panel**  
Some rot noted and should be repaired.

## ELECTRIC

- Safety Concern** **ELECTRICAL SYSTEM - General Comment**  
Limited access to panels should be improved. 3ft is considered min.  
Unused wires should be made safe.
  
- Satisfactory **Main Electrical Service - Underground Lateral Cable**
  
- Satisfactory **Main Electrical Service Wire - Aluminum**
  
- Satisfactory **Voltage Available - 110 / 220**
  
- Satisfactory **Main Electrical Distribution Panel Accessibility - Typical**
  
- Satisfactory **Main Electrical Distribution Panel Location - Basement**
  
- Satisfactory **Main Electrical Disconnect - Breaker**
  
- Satisfactory **Main Panel - 200, 2 Panel System**
  
- Satisfactory **Interior Wiring - Copper 90 percent**

## ELECTRIC

Satisfactory

Type of Wire - Romex

Satisfactory

Grounding - Driven Rod

Satisfactory

Breakers in Use - Room for Expansion

Satisfactory

Inspection Sticker - Main Panel

Safety Concern

Electrical Defaults - Main Panel

GFCI breaker should not trip and should be repaired.

Missing panel cover screws were noted and should be replaced. Cut off wires should be made safe.

Satisfactory

Electrical Duplex Receptacles - 3 Slotted

## PLUMBING

Inspection  
Definition/Limitation

PLUMBING - General Comment

Poorly supported and rusted gas line should be repaired.

The water treatment system not part of this home inspection. Some cut off piping.

Inspection  
Definition/Limitation

Water Source - Private Well

No well test done on this property during the home inspection.

Satisfactory

Municipal Main Supply Type - Plastic

Satisfactory

Main Water Shut Off - Basement

Satisfactory

Main Gas Valve - Outside

Service/Repair

Interior Visible Water Pipes - Copper

Some discoloration was noted.

Inspection  
Definition/Limitation

Waste System - Private Septic

No test performed on septic system and is not a part of the home inspection.

Inspection  
Definition/Limitation

Interior Waste/Vent Pipes - PVC

Most piping concealed supply and drain.

Satisfactory

Number of Outside Spigots - 2

## PLUMBING

**Inspection  
Definition/Limitati  
on**

**Type of Outside Spigots - Unprotected**

Unprotected hose connections should be shut off and drained before first freeze each year.

Satisfactory

**Well Pump Type - Submersible**

Satisfactory

**Pump Location - Well Casing**

Satisfactory

**Well Pump Installation - Deep**

Satisfactory

**Supply Tank Type - Galv. Tank**

Satisfactory

**Supply Tank Location - Basement**

## W. HEATER

Satisfactory

**Water Heater 1 Mfg. - Craft Master**

Satisfactory

**Water Heater 1 Rated BTU Per Hour - 40,000 +**

Satisfactory

**Water Heater 1 Approx. Age - 11**

Satisfactory

**Water Heater 1 Size - 50**

Satisfactory

**Water Heater Fuel - Gas**

Satisfactory

**Water Heater Flue Pipe - Single Wall**

Satisfactory

**Water Heater Gas Piping - Valve On Off**

Satisfactory

**Water Heater Cold Water Valve - Present**

Satisfactory

**Temp. Pressure Relief Valve and Pipe - Present**

Satisfactory

**Water Heater Exterior Jacket - OK**



## LAUNDRY

- Satisfactory** Laundry Sink - Plastic
- Satisfactory** Laundry Sink Faucets - Tested
- Satisfactory** Laundry Sink Drain Trap - PVC
- Satisfactory** Laundry Water Faucets - Single Handle
- Satisfactory** Washer Drains - Trapped Line
- Satisfactory** Dryer Vented - Wall
- Satisfactory** Laundry Energy Source - 220 Electric

## FURNACE

- Satisfactory** Forced Air System 1 Mfg. - Lennox
- Satisfactory** Forced Air System 1 BTU Per Hour - Other  
66000
- Satisfactory** Forced Air System 1 Approx. Age - 6
- Satisfactory** Forced Air System Energy Source - Gas
- Satisfactory** Hot Air System - Direct Drive
- Satisfactory** Heat Exchanger Flame Pattern - Pass
- Inspection Definition/Limitation** Heat Exchanger Visual - Pass  
Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.
- Satisfactory** Distribution System Type - Up Flow
- Service/Repair** Distribution System Material - Metal Duct, Insul. Flex Duct  
Open duct run in basement should be repaired.
- Satisfactory** Thermostat - Single and Multi

## FURNACE

- Satisfactory** Flue Piping - PVC
- Satisfactory** Forced Air System 2 Mfg. - Lennox
- Satisfactory** Forced Air System 2 Approx. Age - 7
- Satisfactory** Forced Air System 2 BTU Per Hour - 100,000 +
- Satisfactory** Filter System - Disposable
- Satisfactory** Electrical Unit - Convection Base BD

## BASEMENT

- Inspection Definition/Limitation** **BASEMENT - General Comment**  
inspection limited by stored items fully finish..
- Satisfactory** Basement Type - Full Percent
- Satisfactory** Basement Access - Interior Stairs
- Service/Repair** **Basement Foundation Walls - Cement Block**  
Some cracks and water penetration noted.
- Satisfactory** Basement Floor - Cement
- Satisfactory** Basement Bridging - Wood
- Satisfactory** Basement Structural Columns - Steel
- Inspection Definition/Limitation** **Basement Structural Beams - Other**  
No access.
- Satisfactory** Basement Ceiling Sub Floor - Plywood
- Safety Concern** **Basement Ceiling Joist - Conventional**  
As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

## BASEMENT

**Inspection  
Definition/Limitation**

**Basement Insulation - Sill Plates**

Insulation limits inspection.

**Major Defect**

**Basement Wall Finish - Partially Finished**

Inspection limited by finished areas. Some stains noted and were wet near stairs and damage from water noted some stains not wet and sho

Currently wet areas noted in wall finish and source of wetness should be identified and repaired.

Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Some water damage to bar area. Some carpet damage noted.

**Inspection  
Definition/Limitation**

**Basement Drainage - None**

Walled off area noted under built in de humidifier and should be checked to determine were pipe drains to.

## KITCHEN

**Satisfactory**

**Kitchen Walls - Drywall**

**Satisfactory**

**Kitchen Ceiling - Drywall**

**Satisfactory**

**Kitchen Floors - Wood**

**Satisfactory**

**Kitchen Heating Source - Central**

**Satisfactory**

**Kitchen Cooling Source - Central**

**Satisfactory**

**Kitchen Doors Windows - Tested**

**Service/Repair**

**Kitchen Cabinets - Custom Wood**

Some loose hardware noted.

**Satisfactory**

**Kitchen Sink - Stainless**

**Satisfactory**

**Kitchen Sink Faucet - Single Lever**

**Satisfactory**

**Kitchen Drain and Trap - PVC**

**Service/Repair**

**Garbage Disposal - Continuous Feed**

Septic systems are often damaged by the use of disposals and the owner should be cautious in their use.

**Satisfactory**

**Dishwasher Approx. Age - 10 or older**



## KITCHEN

- Satisfactory Dishwasher Mfg. - Frigidaire
  
- Satisfactory Trash Compactor - None
  
- Satisfactory Exhaust Fan Hood - Hood Ductless
  
- Inspection Definition/Limitation** Range Oven - Free Standing  
Self cleaning if on stove not part of inspection and will not be tested.
  
- Satisfactory Surface Cooktop - Gas
  
- Safety Concern** Kitchen Wall Receptacles - GFI Protected  
The GFCI protection should be installed for all counter top receptacles.
  
- Satisfactory Kitchen Switches Fixtures - Recessed, Fixed

## HALF BATH

- Satisfactory Half Bath Doors and Windows - Door Lock
  
- Satisfactory Half Bath Electric Switches and Fixtures - Wall
  
- Safety Concern** Half Bath Receptacles - Grounded  
Recommend GFCI protection near water.
  
- Satisfactory Half Bath Walls and Ceilings - Drywall
  
- Satisfactory Half Bath Exhaust System - Window
  
- Satisfactory Half Bath Heating and Cooling - Central
  
- Satisfactory Half Bath Sink Faucets - Individual
  
- Satisfactory Half Bath Sink Stopper - Push Pull
  
- Satisfactory Half Bath Sink Basin - Porcelain
  
- Satisfactory Half Bath Sink Drain and Trap - PVC

## HALF BATH

**Satisfactory** Toilet Bowl and Tank - 2 Piece, Anchored

**Satisfactory** Toilet Operation - Flushes, Drains, Refills

**Satisfactory** Half Bath Ventilation - Fan

**Satisfactory** Half Bath Floor - Wood

**Satisfactory** Number of Half Baths - 1

## BATHROOM

**Satisfactory** Bathroom Doors, Windows - Door Lock

**Satisfactory** Bathroom Electric Switches and Fixtures - Wall

**Satisfactory** Bathroom Receptacles - GFCI

**Service/Repair** Bathroom Walls and Ceilings - Drywall

Some water at vent fan and should be repaired.

**Satisfactory** Bathroom Exhaust System - Elec. Fan Outdoors, Electric Fan Attic

**Satisfactory** Bathroom Heating Cooling - Central Sys

**Satisfactory** Bathroom Sink Faucets - Individual

**Service/Repair** Bathroom Sink Stopper - Push Pull

Some would not seal.

**Service/Repair** Bathroom Sink Basin - Porcelain

As found in most homes in America some possible mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

**Satisfactory** Bathroom Sink Drain and Trap - PVC

**Satisfactory** Toilet Bowl and Tank - 2 Piece, Anchored

**Satisfactory** Toilet Operation - Flushes, Drains, Refills

## BATHROOM

**Service/Repair**    **Bathtub Faucets - Individual**

Leak noted and should be repaired. Hot and cold reverse in princess bath.

**Satisfactory**    **Bathtub Stopper - Pop Up**

**Satisfactory**    **Bath Showerhead - Standard**

**Satisfactory**    **Tub Wall Encl. - Ceramic**

**Service/Repair**    **Bathroom Ventilation - Window**

One bad gear box noted.

**Satisfactory**    **Bathroom Floor - Ceramic**

**Satisfactory**    **Shower Stall Walls - Ceramic Tile**

**Satisfactory**    **Shower Drain - Floor Drain Stall**

**Satisfactory**    **Shower Faucets - Single Lever**

**Satisfactory**    **Number of Full Baths - 4**

## ATTIC

**Satisfactory**    **Attic Accessibility - Access restricted**

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc. Some parts no access.

**Satisfactory**    **Attic Entry Access - Hatch**

**Satisfactory**    **Attic Access Location - Closet**

**Satisfactory**    **Attic Structural Framing Type - Conventional**

**Service/Repair**    **Attic Structural Framing Spacing - 16 inches on Center**

Missing nails noted in joist hangers and should be repaired.

**Safety Concern**    **Attic Sheathing - Plywood, Particle Board, Cedar Shingle, Other**

Water damage and some bowing noted in the sheathing behind the siding but not was not wet at the time of the inspection and should be monitored or evaluated and repaired.

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## ATTIC

- Satisfactory** Attic Floor Insulation - Cellulose
- Satisfactory** Attic Insulation Thickness - 6 inches
- Satisfactory** Attic Insulation Approx. R. Value - 19
- Satisfactory** Attic Ventilation - Soffit
- Satisfactory** Attic Wiring - Covered with Insulation, Exposed
- Satisfactory** Attic Exhaust - Other  
Other =  
Not visible.

## INTERIOR

### **Major Defect** Skylight - Evidence of Leakage

Stains were noted but were not wet at the time of inspection.  
Condensation was noted between insulated window panes and should be repaired at sky lights in master and kitchen and all glass should be evaluated and all glass with damaged sealed noted..

### **Satisfactory** Interior Floors - Wood

### **Safety Concern** Interior Ceilings - Dry Wall

Typical drywall flaws were noted.  
Some damage and stains noted but not wet at the time of the inspection. Some stains could not be reached and were not checked.

### **Monitor/Maintain** Interior Walls - Dry Wall

Typical drywall flaws were noted.

### **Satisfactory** Interior Fixtures - Properly Wired

### **Satisfactory** Interior Rooms - Living Room, Family Room, Dining Room

### **Satisfactory** Interior Fire Place 2 - Masonry

### **Satisfactory** Interior Outlets - Three Prong Grounded

### **Satisfactory** Number of Bedrooms - 4

### **Satisfactory** Interior Heat Source - Tested

### **Satisfactory** Interior Cooling Source - Tested

## INTERIOR

**Satisfactory** Interior Fire Place 1 - Zero Clearance

**Service/Repair** Visible Flues and DMPs - Operated

Zero clearance should be cleaned.

**Satisfactory** Closets - Doors in Place

**Monitor/Maintain** Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied.

**Satisfactory** Stairways - With Hand Railings

**Satisfactory** Interior Switches - Sample Number Test

**Satisfactory** Interior Cabinets and Shelving - Accessible

**Major Defect** Windows - Operated

Some windows would not open and close properly and should be repaired some bad gear boxes.

**Satisfactory** GFCI Rest - Reset

# INSPECTION DEFINITIONS/LIMITATION

## Inspection Definition/Limitation

### Inspection Description/limitation - Information

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.