



Reliable Home Inspection Service  
100 Old Kennett Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By:  
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Referral Information:

Client Information: [REDACTED]  
[REDACTED]  
[REDACTED]

Inspected 2025

FRONT VIEW



# Inspection Summary

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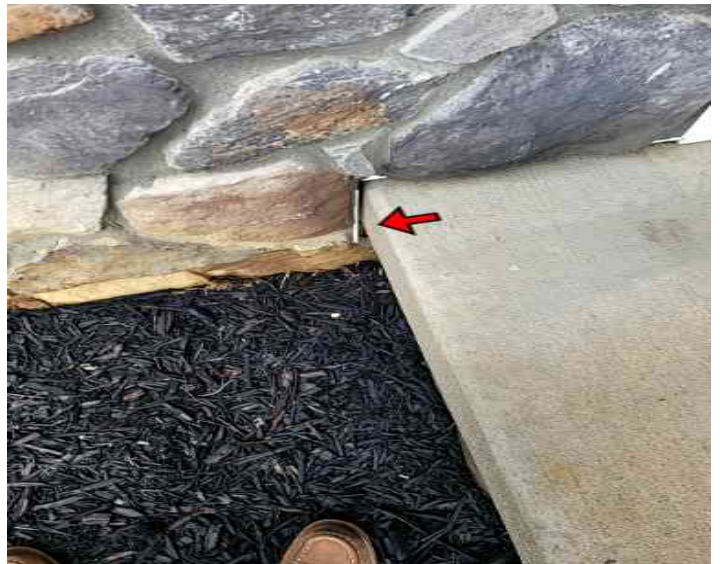
## Major Defect

### EXTERIOR

#### 0309: Masonry Walls

Other= Faux stone.

Missing caulk joints noted on Faux stone. The entire exterior wall surfaces should be evaluated by a qualified contractor and all needed repairs should be made.



# Major Defect

## GARAGE

### 0806: Garage Windows

Right window is actively leaking at time of inspection and the source of moisture should be identified and all needed repairs should be made.



# Major Defect

## GARAGE

### 0810: Auto Garage Door Lift Controls

The garage door opener would not work properly and should be evaluated by a qualified contractor and all needed repairs should be made.



## ATTIC

### 2005: Attic Structural Framing Type

Bowed truss broken out of gusset plate and should be repaired. Repair will require plan and documentation from. Truss engineer and repair document should be provided and recommend a copy be attached to repair.

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



## Major Defect



## Safety Concern

### ELECTRIC

#### 0919: Electrical Defaults

Arc fault breaker did not trip when tested and should be repaired.



# Service/Repair

## EXTERIOR

### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.



# Service/Repair

## EXTERIOR

### 0306: Soffit\Fascia

Loose and poorly fitting section was noted at the front roof line and should be repaired.



## EXTERIOR

### 0307: Grading

Soil should be sloped away from house to improve drainage.  
Some erosion was noted and should be repaired.



## Service/Repair

### EXTERIOR

#### 0314: Window Character Material

Damage was noted at the vinyl at the sun room window.



### GUTTERS

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

Poorly pitched rear lower gutter and should be repaired.





## ROOF

### 0505: Roof Covering Primary Type

Some scuffing and aggregate loss noted and should be monitored.

Nail heads should be sealed where exposed. Wood roofs are not walked as part of the home inspection due to possible

Nail holes were noted at roof edges and should be repaired.



## Service/Repair

### GARAGE

#### 0814: Garage Doors

Poorly fitting passage door sill was noted and should be repaired.



### BASEMENT

#### 1503: Basement Access

Poorly fitting and evidence of past leakage was noted at the exterior door and should be repaired.



## Service/Repair



## BASEMENT

### 1513: Basement Wall Finish

Inspection limited by finished areas.  
Some cracks and poorly finished areas were noted and should be repaired.



## Service/Repair



## KITCHEN

### 1702: Kitchen Walls

Back splash should be caulked.



## Service/Repair

### KITCHEN

#### 1704: Kitchen Floors

Floor pops by the island and should be repaired.



### KITCHEN

#### 1707: Kitchen Doors Windows

Caulking around the window and should be repaired.



## Service/Repair

### KITCHEN

#### 1708: Kitchen Cabinets

Water damage was noted to paneling at the island and should be repaired.



### HALF BATH

#### 1805: Half Bath Walls and Ceilings

Poorly finished areas were noted.



## Service/Repair



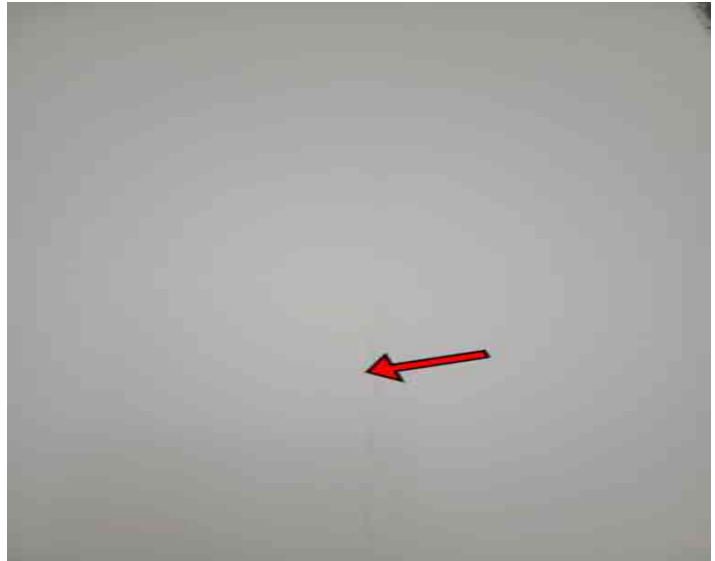
### 1812: Toilet Bowl and Tank

The toilet is loose at the base and should be repaired.

## BATHROOM

### 1905: Bathroom Walls and Ceilings

Some cracks were noted.



### 1912: Toilet Bowl and Tank

The toilet is loose at the base. Princess bathroom.

The toilet is loose at the base in the master bath and should be repaired

## Service/Repair

### BATHROOM

#### 1920: Bathroom Floor

Cracks and missing grout was noted and should be repaired.



### INTERIOR

#### 2104: Interior Walls

Typical drywall flaws were noted.  
Some poorly finished areas were noted.

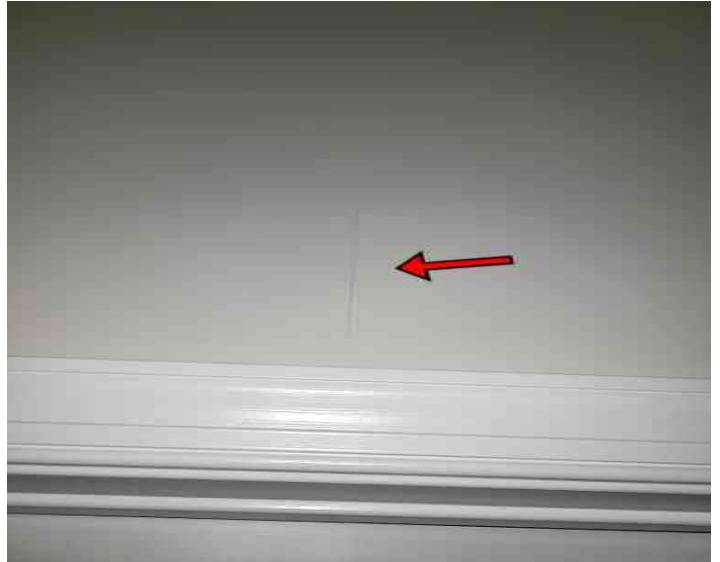
Some cracks were noted.



Rear bedroom.



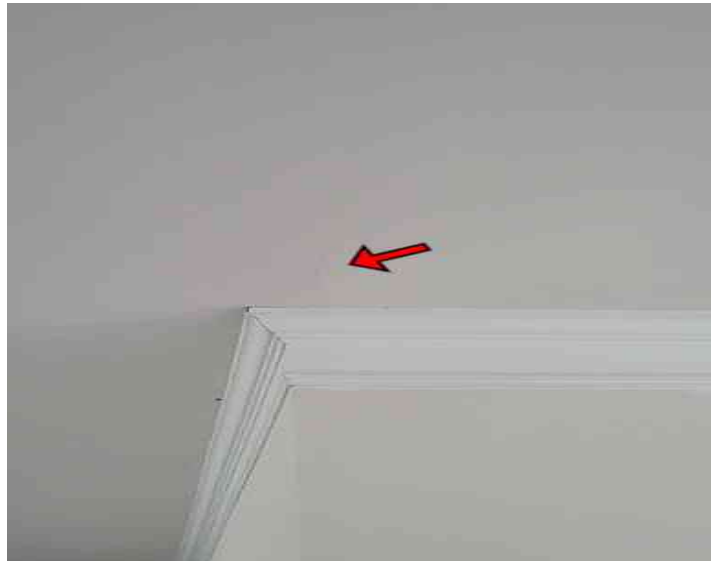
# Service/Repair



## INTERIOR

### 2105: Interior Ceilings

Typical drywall flaws were noted.  
Some cracks were noted.  
Poorly finished areas of drywall were and should be repaired.



## Service/Repair

### INTERIOR

#### 2106: Interior Floors

Some squeaking areas were noted.



### INTERIOR

#### 2119: Stairways

Loose fitting spindles were noted and should be repaired.



## Monitor/Maintain

### GROUNDS

#### 0203: Walks

Cracks and some settlement noted.

#### 0204: Steps

Cracks and some settlement noted.

#### 0208: Driveway/Parking Lot

Some cracks noted.

## Monitor/Maintain

### 0320: Caulking

Caulking should be improved.

### 0408: Splash Blocks

Better Splash blocks or run off drains should be added.

## GARAGE

### 0813: Garage Floor

Some cracks were noted.



### 1713: Garbage Disposal

Great care should be taken when using the disposal on the septic system.

### 1720: Kitchen Wall Receptacles

GFCI reset is in the main panel

## Inspection Definition/Limitation

## COOLING

### 0711: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

### 1008: Waste System

No test performed on septic system and is not a part of the home inspection.

### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

## Inspection Definition/Limitation

### 1201: LAUNDRY

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

### 1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

### 1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.  
The inspection was limited by insulation.

### 1512: Basement Insulation Visible Primary Type

Insulation limits inspection.

### 1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

### 2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

### 2111: Interior Cooling Source

The outside temperature was to low to safely test Cooling Mode.

## Inspection Definition/Limitation

### 2201: Inspection Description/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.



## Inspection Description/limitation

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# Inspection Report Details

## GROUNDS

**Monitor/Maintain** 0203: Walks - Concrete

Cracks and some settlement noted.

**Monitor/Maintain** 0204: Steps - Concrete

Cracks and some settlement noted.

**Satisfactory** 0206: Porches - Concrete

**Monitor/Maintain** 0208: Driveway/Parking Lot - Asphalt

Some cracks noted.

**Satisfactory** 0210: Hand Rail - Other

Other= Vinyl

## EXTERIOR

**Satisfactory** 0302: Outside Outlets - Tested

**Satisfactory** 0303: Type of Building - Frame, 2 Story

**Service/Repair** 0304: Exposed Foundation Primary Visible Type - Poured Concrete

Some cracks noted.

**Service/Repair** 0306: Soffit\Fascia - Aluminum, Vinyl

Loose and poorly fitting section was noted at the front roof line and should be repaired.

**Service/Repair** 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage. Some erosion was noted and should be repaired.

**Satisfactory** 0308: Siding - Vinyl

**Major Defect** 0309: Masonry Walls - Other

Other= Faux stone. Missing caulk joints noted on Faux stone. The entire exterior wall surfaces should be evaluated by a qualified contractor and all needed repairs should be made.

**Satisfactory** 0310: Trim Work - Vinyl



## EXTERIOR

- 0311: Entry Doors - Metal
- 0313: Patio Doors - Sliding
- 0314: Window Character Material - Vinyl

Damage was noted at the vinyl at the sun room window.

- 0315: Window Character Type - Double Hung, Casement, Fixed
- 0317: Glass - Insulated
- 0318: Windows Storm\Screen - MFG Screens
- 0319: Weather Stripping - Fiber\Felt, Rubber\Vinyl
- 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

## GUTTERS

- 0402: Inspected From - Ground, Roof
- 0403: Access Restricted - Not Restricted
- 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage. Poorly pitched rear lower gutter and should be repaired.

- 0405: Downspout Type - Aluminum
- 0406: Sealed Downspouts - None
- 0408: Splash Blocks - Plastic

Better Splash blocks or run off drains should be added.

## ROOF

- 0502: How Inspected - Walk on Roof
- 0503: Roof Access Restricted - Not Restricted
- 0504: Roof Style - Gable
- 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

## ROOF

Some scuffing and aggregate loss noted and should be monitored. Nail heads should be sealed where exposed. Wood roofs are not walked as part of the home inspection due to possible Nail holes were noted at roof edges and should be repaired.

- 0506: Approx. Age - 1 thru 5
- 0507: Number of Layers - 1
- 0508: Roof Ventilation System - Ridge, Soffit
- 0509: Flashing - Aluminum
- 0510: Valleys - Asphalt
- 0511: Plumbing Vents - PVC

## COOLING

- 0702: Cooling System 1 Brand - Lennox
- 0703: Cooling System 1 Tonnage - 2.5 Ton
- 0704: Cooling System 1 Approx. Age - 2
- 0705: Heat Pump - Air to Air
- 0706: Cooling System Coils and Fins - Clean
- 0707: Cooling System Electrical - Ext. Disconnect
- 0708: Cooling Lines - Insulation
- 0709: Condensate Drain - Plastic
- 0711: Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

- 0713: Cooling System 2 Brand - Lennox
- 0714: Cooling System 2 Approx. Age - 2
- 0715: Cooling System 2 Tonnage - 3 Ton
- 0716: Differential Temp 2 - Too Cold to Test Unit

## COOLING

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

## GARAGE

0802: Garage Type - 3 Car Attached

0803: Garage Exterior Walls - Same as House

0806: Garage Windows - Vinyl

Right window is actively leaking at time of inspection and the source of moisture should be identified and all needed repairs should be made.

0809: Garage Electrical System - GFCI, Lighting

0810: Auto Garage Door Lift Controls - Auto Opener, Auto Safety Reverse, Electronic Eye

The garage door opener would not work properly and should be evaluated by a qualified contractor and all needed repairs should be made.

0811: Garage Interior Walls - Drywall\Plaster

0812: Garage Interior Ceiling - Drywall\Plaster

0813: Garage Floor - Concrete, Other

Some cracks were noted.

0814: Garage Doors - Overhead

Poorly fitting passage door sill was noted and should be repaired.

## ELECTRIC

0902: Main Electrical Service - Underground Lateral Cable

0903: Main Electrical Service Wire - Aluminum

0905: Voltage Available - 110 / 220

0906: Main Electrical Distribution Panel Accessibility - Typical

0907: Main Electrical Distribution Panel Location - Basement

0908: Main Electrical Disconnect - Breaker

## ELECTRIC

- 0909: Main Panel - 200
- 0911: Interior Wiring Visible Primary Type - Copper 90 percent
- 0912: Type of Wire Visible Primary Type - Romex
- 0913: Grounding - Driven Rod
- 0914: Breakers in Use - Room for Expansion
- 0917: Inspection Sticker - Main Panel
- 0918: Panel Schedule Filled in - Filled Out
- 0919: Electrical Defaults - Main Panel

Arc fault breaker did not trip when tested and should be repaired.

- 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

## PLUMBING

- 1002: Water Source - Municipal
- 1003: Municipal Main Supply Size - 3/4
- 1004: Municipal Main Supply Type - Plastic
- 1005: Main Water Shut Off - Basement
- 1006: Main Gas Valve - Outside
- 1007: Interior Water Pipes Primary Visible Type - PEX
- 1008: Waste System - Private Septic

No test performed on septic system and is not a part of the home inspection.

- 1009: Interior Waste/Vent Pipes Primary Visible Type - PVC

Most piping concealed supply and drain.

- 1010: Number of Outside Spigots - 2
- 1011: Type of Outside Spigots - Frost Free

## PLUMBING

### W. HEATER

- 1103: Water Heater 1 Mfg. - Bradford White
- 1104: Water Heater 1 Rated BTU Per Hour - 75,000+
- 1105: Water Heater 1 Approx. Age - 2
- 1106: Water Heater 1 Size - 75
- 1107: Water Heater Fuel - L.P.
- 1108: Water Heater Flue Pipe - PVC
- 1109: Water Heater Gas Piping - Valve On Off
- 1110: Water Heater Cold Water Valve - Present
- 1111: Temp. Pressure Relief Valve and Pipe - Present
- 1113: Water Heater Exterior Jacket - OK

## LAUNDRY

**Inspection Definition/Limitation** 2201: LAUNDRY - General Comment

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

- 1203: Laundry Sink - Plastic
- 1204: Laundry Sink Faucets - Tested
- 1205: Laundry Sink Drain Trap - PVC
- 1206: Laundry Water Faucets - Gate Type
- 1207: Washer Drains - Trapped Line
- 1208: Dryer Vented - Wall
- 1209: Laundry Energy Source - 220 Electric

## FURNACE

- 1302: Forced Air System 1 Mfg. - Lennox
- 1303: Forced Air System 1 BTU Per Hour - 60,000

## FURNACE

- Satisfactory 1304: Forced Air System 1 Approx. Age - 2
- Satisfactory 1305: Forced Air System Energy Source - Gas LP
- Satisfactory 1306: Hot Air System - Direct Drive
- Satisfactory 1307: Heat Exchanger Flame Pattern - Pass
- Inspection  
Definition/Limitation** 1308: Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

- Satisfactory 1310: Distribution System Type - Up Flow
- Satisfactory 1311: Distribution System Material - Metal Duct
- Satisfactory 1312: Thermostat - Programmable
- Satisfactory 1313: Flue Piping - PVC
- Satisfactory 1314: Forced Air System 2 Mfg. - Lennox
- Satisfactory 1315: Forced Air System 2 Approx. Age - 2
- Satisfactory 1316: Forced Air System 2 BTU Per Hour - 60,000+
- Satisfactory 1317: Filter System - Disposable

## BASEMENT

- Satisfactory 1502: Basement Type - Full Basement
- Service/Repair** 1503: Basement Access - Interior Stairs, Exterior Stairs

Poorly fitting and evidence of past leakage was noted at the exterior door and should be repaired.

- Inspection  
Definition/Limitation** 1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration. The inspection was limited by insulation.

- Satisfactory 1505: Foundation Anchors - Anchor Bolts
- Satisfactory 1506: Basement Floor - Cement, Carpet On Slab
- Satisfactory 1508: Basement Structural Columns Visible Primary Type - Steel

## BASEMENT

Satisfactory 1509: Basement Structural Beams Visible Primary Type - Steel

Satisfactory 1510: Basement Ceiling Sub Floor Visible Primary Type - Particle BD.

Satisfactory 1511: Basement Ceiling Joist Visible Primary Type - Conventional

Inspection  
Definition/Limitation 1512: Basement Insulation Visible Primary Type - Sill Plates

Insulation limits inspection.

Service/Repair 1513: Basement Wall Finish - Partially Finished

Inspection limited by finished areas. Some cracks and poorly finished areas were noted and should be repaired.

Satisfactory 1514: Basement Drainage - Sump Pump

## KITCHEN

Service/Repair 1702: Kitchen Walls - Drywall, Tile

Back splash should be caulked.

Satisfactory 1703: Kitchen Ceiling - Drywall

Service/Repair 1704: Kitchen Floors - Wood

Floor pops by the island and should be repaired.

Satisfactory 1705: Kitchen Heating Source - Central

Satisfactory 1706: Kitchen Cooling Source - Central

Service/Repair 1707: Kitchen Doors Windows - Tested

Caulking around the window and should be repaired.

Service/Repair 1708: Kitchen Cabinets - Custom Wood

Water damage was noted to paneling at the island and should be repaired.

Satisfactory 1709: Kitchen Sink - Stainless

Satisfactory 1710: Kitchen Sink Faucet - Single Lever

Satisfactory 1712: Kitchen Drain and Trap - PVC

Monitor/Maintain 1713: Garbage Disposal - Continuous Feed

## KITCHEN

Great care should be taken when using the disposal on the septic system.

1714: Dishwasher Approx. Age - 1/5

1715: Dishwasher Mfg. - GE

1717: Exhaust Fan Hood - Hood Ductless

1718: Range Oven - Drop In

Self cleaning if on stove not part of inspection and will not be tested.

1719: Surface Cooktop - Gas

1720: Kitchen Wall Receptacles - GFI Protected

GFCI reset is in the main panel

1721: Kitchen Switches Fixtures - Recessed, Hanging

## HALF BATH

1802: Half Bath Doors and Windows - Door/ Lock

1803: Half Bath Electric Switches and Fixtures - Wall

1804: Half Bath Receptacles - GFCI

1805: Half Bath Walls and Ceilings - Drywall

Poorly finished areas were noted.

1807: Half Bath Heating and Cooling - Central

1808: Half Bath Sink Faucets - Individual

1809: Half Bath Sink Stopper - Push Pull

1810: Half Bath Sink Basin - Porcelain

1811: Half Bath Sink Drain and Trap - PVC

1812: Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base and should be repaired.

1813: Toilet Operation - Flushes, Drains, Refills

1814: Half Bath Ventilation - Fan



## HALF BATH

1815: Half Bath Floor - Wood

1816: Number of Half Baths - 1

## BATHROOM

1902: Bathroom Doors, Windows - Door/ Lock

1903: Bathroom Electric Switches and Fixtures - Wall

1904: Bathroom Receptacles - GFCI

1905: Bathroom Walls and Ceilings - Drywall

Some cracks were noted.

1907: Bathroom Heating Cooling - Central Sys

1908: Bathroom Sink Faucets - Individual

1909: Bathroom Sink Stopper - Push Pull

1910: Bathroom Sink Basin - Cast Marble

1911: Bathroom Sink Drain and Trap - PVC

1912: Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base. Princess bathroom. The toilet is loose at the base in the master bath and should be repaired

1913: Toilet Operation - Flushes, Drains, Refills

1914: Bathtub Faucets - Single Lever, Individual

1915: Bathtub Stopper - Pop Up

1916: Bath Showerhead - Personal

1917: Seal Around Tub - 1 Piece Shower Tub

1918: Tub Wall Encl. - Fiberglass

1919: Bathroom Ventilation - Fan

1920: Bathroom Floor - Ceramic

Cracks and missing grout was noted and should be repaired.

1921: Shower Stall Walls - Ceramic Tile

## BATHROOM

- Satisfactory 1922: Shower Drain - Tub, Floor Drain Stall
- Satisfactory 1923: Shower Faucets - Single Lever
- Satisfactory 1924: Number of Full Baths - 3

## ATTIC

**Inspection Definition/Limitation** 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

- Satisfactory 2003: Attic Entry Access - Hatch
- Satisfactory 2004: Attic Access Location - Closet
- Major Defect** 2005: Attic Structural Framing Type - Trusses

Bowed truss broken out of gusset plate and should be repaired. Repair will require plan and documentation from. Truss engineer and repair document should be provided and recommend a copy be attached to repair. As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

- Satisfactory 2006: Attic Structural Framing Spacing - 24 inches on Center
- Satisfactory 2007: Attic Sheathing - Particle Board
- Satisfactory 2008: Attic Floor Insulation - Blown
- Satisfactory 2009: Attic Insulation Thickness - 10 inches
- Satisfactory 2010: Attic Insulation Approx. R. Value - 30
- Satisfactory 2011: Attic Ventilation - Ridge, Soffit
- Satisfactory 2012: Attic Wiring - Covered with Insulation
- Satisfactory 2013: Attic Vent Pipes - Vented Outside
- Satisfactory 2014: Attic Exhaust - Vents Outside

## INTERIOR

- Satisfactory 2103: Number of Bedrooms - 5

## INTERIOR

**Service/Repair** 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted. Some poorly finished areas were noted. Some cracks were noted.

**Service/Repair** 2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted. Some cracks were noted. Poorly finished areas of drywall were and should be repaired.

**Service/Repair** 2106: Interior Floors - Wood, Tile, Carpet

Some squeaking areas were noted.

**Satisfactory** 2110: Interior Heat Source - Tested

**Inspection  
Definition/Limitation** 2111: Interior Cooling Source - Not Tested

The outside temperature was too low to safely test Cooling Mode.

**Satisfactory** 2112: Interior Cabinets and Shelving - Accessible

**Satisfactory** 2113: Interior Fire Place 1 - Gas Log Fireplace

**Satisfactory** 2116: Closets/ Interior Doors - Doors in Place

**Satisfactory** 2117: Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied. It is recommended and required in some areas to have one smoke detector in each bedroom and one in hall within 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

**Service/Repair** 2119: Stairways - With Hand Railings

Loose fitting spindles were noted and should be repaired.

**Satisfactory** 2122: Windows - Operated

**Satisfactory** 2123: GFCI Rest - Reset

# INSPECTION DEFINITIONS/LIMITATION

## Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.