



Reliable Home Inspection Service
100 Old Kennett Rd
Wilmington, DE 19807
302-993-9100
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By Francis Glynn [REDACTED]

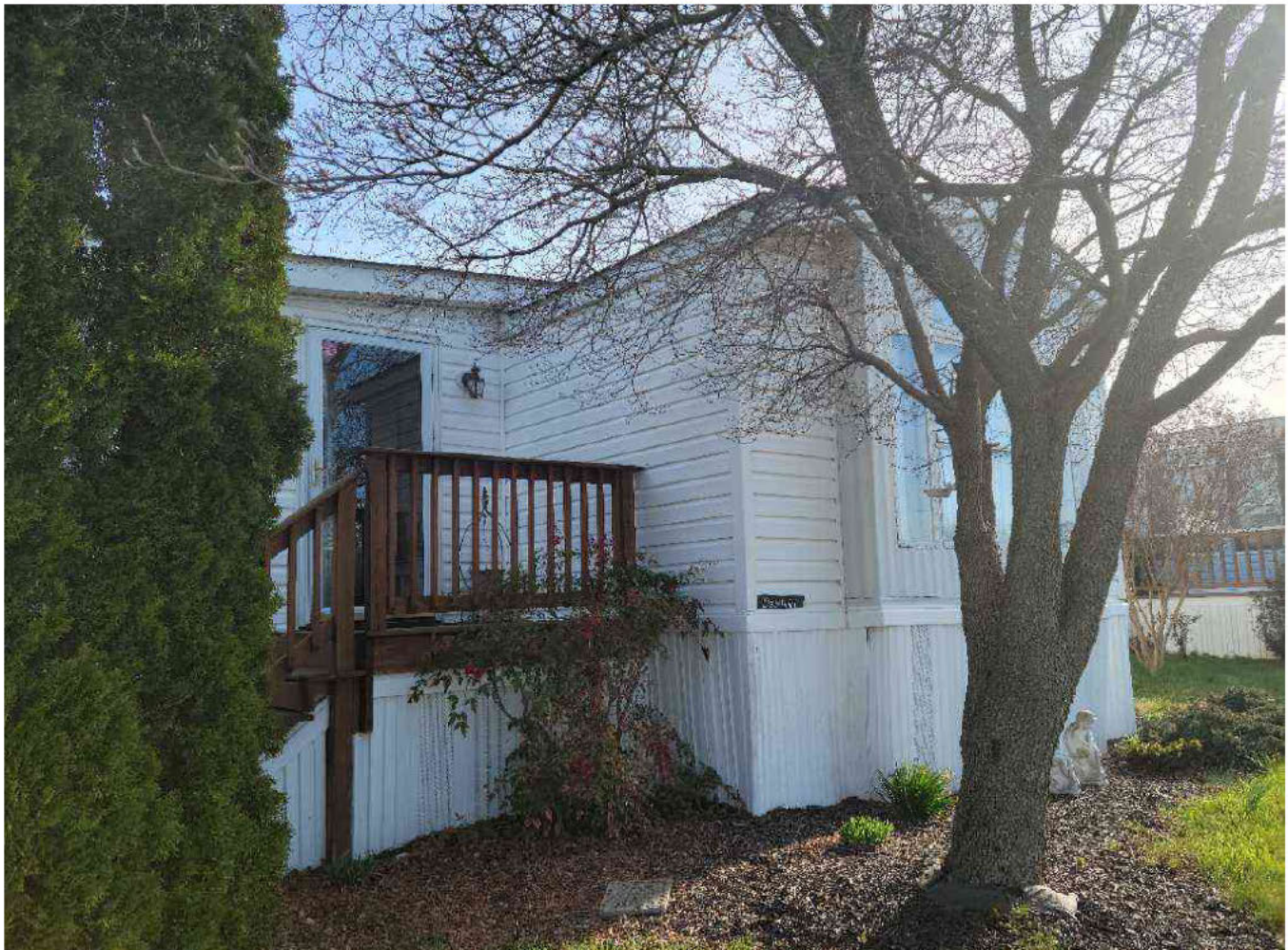
Referral Information

Client Information [REDACTED]

[REDACTED]

Inspected [REDACTED]

FRONT VIEW



Inspection Summary

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Major Defect

GROUNDS

0207: Decks

Poorly supported deck system was noted. Deck is installed on top of the sidewalk. Loose railing was noted and should be repaired.

The entire deck system should be evaluated by a qualified contractor and all needed repairs should be made.

The deck should be power washed and treated with water repellent.



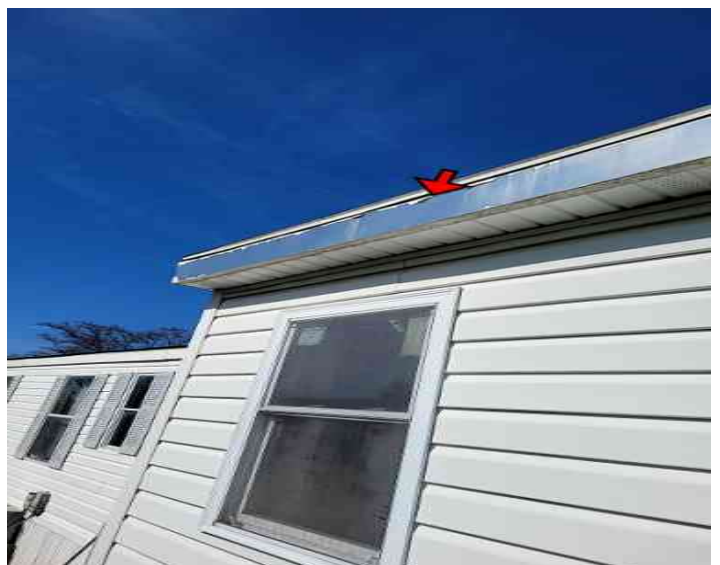
Major Defect



EXTERIOR

0306: Soffit\Fascia

Paint has come off at some areas and should be repaired.
Loose fitting section was noted and should be repaired.
Termite tubes and damage was noted at the wood behind the metal.
The entire structural condition should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.



Major Defect



EXTERIOR

0313: Patio Doors

Condensation was noted between the panes of insulated glass on the sliding door and damaged glass should be replaced.

Damage to the exterior trim was noted



Major Defect



ROOF

0505 Roof Covering Primary Type

Missing shingle tabs were noted and should be repaired.
Nail heads should be sealed where exposed
Poorly installed areas were noted. Loose fitting areas were noted
Soft area was noted at the roof edge.
The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made



Major Defect



Major Defect

FURNACE

1311: Distribution System Material

Some duct work lying on the crawl space floor was water soaked and should be replaced.



1318: Electrical Unit

Addition baseboard heat was not connected and should be evaluated and repaired.

Major Defect

CRAWL SPACE

1606: Crawl Space Structural Columns

The wood piers were not supported properly . The entire structural condition should be evaluated by structural contractor or engineer and all needed repairs should be made.

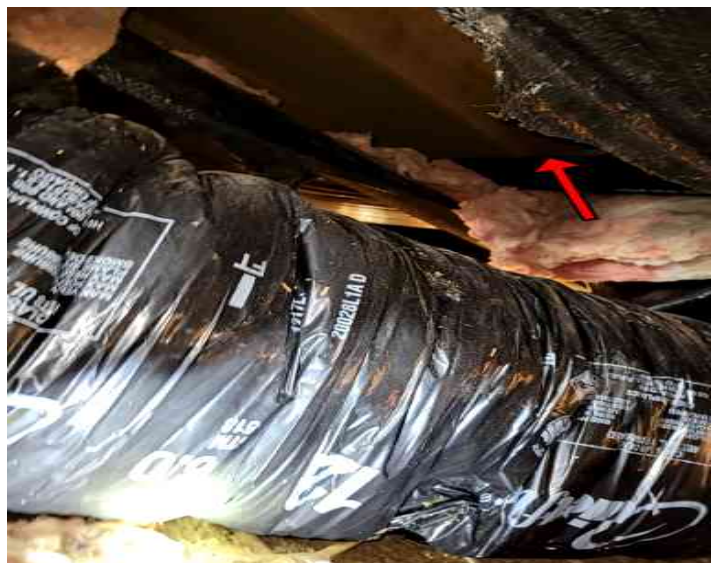
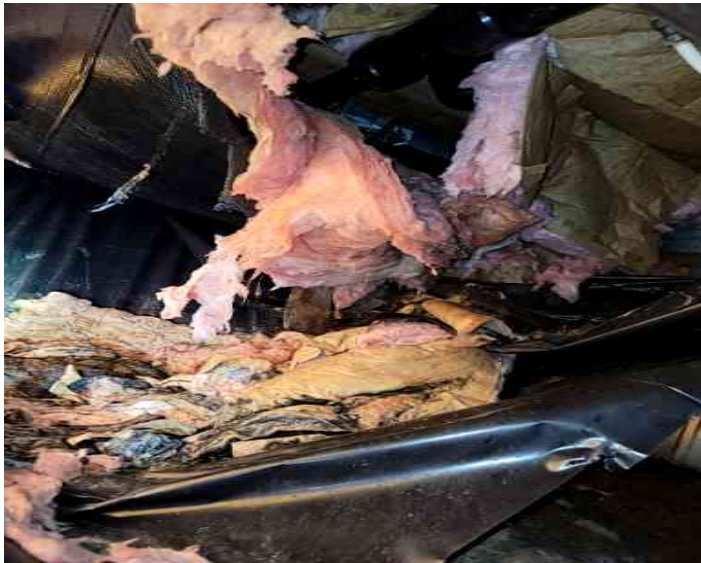


Major Defect

CRAWL SPACE

1610: Crawl Space Insulation

Other = Bladder insulation.
Insulation limits inspection of crawl space
Tears in bottom covering of home expose insulation
and should be repaired
All should be evaluated and all needed repairs should
be made
Some mildew was noted on the insulation .



Major Defect

1715: Dishwasher Mfg.

The device would not operate when tested and should be repaired or replaced.

1717: Exhaust Fan Hood

Light did not work at time of inspection.

The fan was not working at the time of the inspection.

Safety Concern

GROUNDS

0204: Steps

Poorly supported rear steps and should be repaired.
Missing railing was noted and should be repaired.



Safety Concern

EXTERIOR

0311: Entry Doors

The key type dead bolt should be replaced with a knob type for ease of escape in the event of fire.
Back door sticks.



0917: Inspection Sticker

No inspection sticker in panel and should have been inspected to ensure installation met code at the time it was installed.

W. HEATER

1110: Water Heater Cold Water Valve

Valve should be added

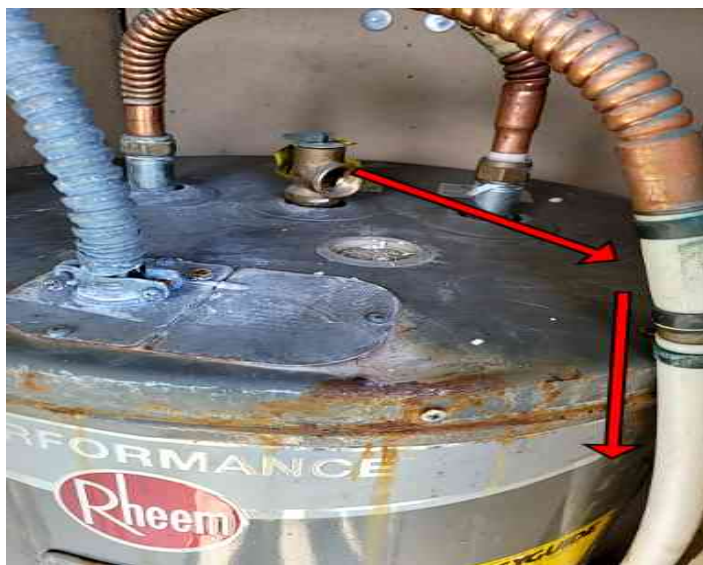


Safety Concern

W. HEATER

1111: Temp. Pressure Relief Valve and Pipe

Temp and pressure valve extension should be extended to within 6" of floor



LAUNDRY

1208 Dryer Vented

Lint leakage was noted and vent should be better sealed.



1718 Range Oven

Self cleaning if on stove not part of inspection and will not be tested
A stabilizing device should be installed to prevent movement of the stove.

1720: Kitchen Wall Receptacles

Recommend adding GFCI outlets in areas near water.

INTERIOR

2104: Interior Walls

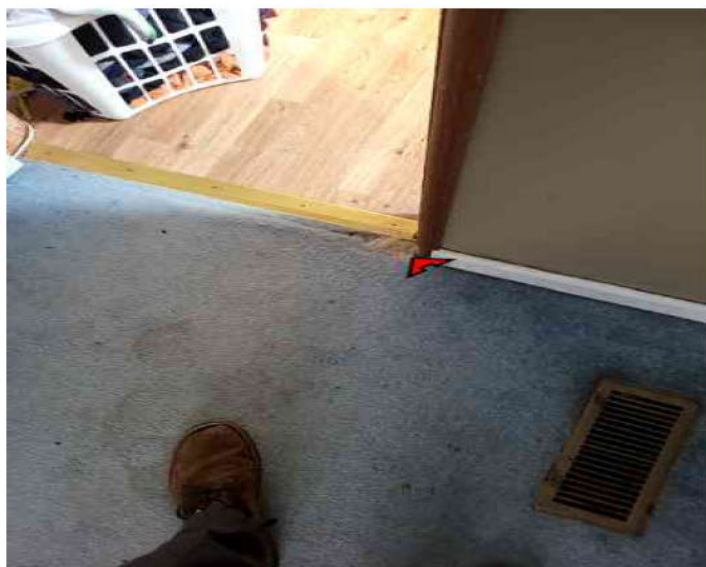
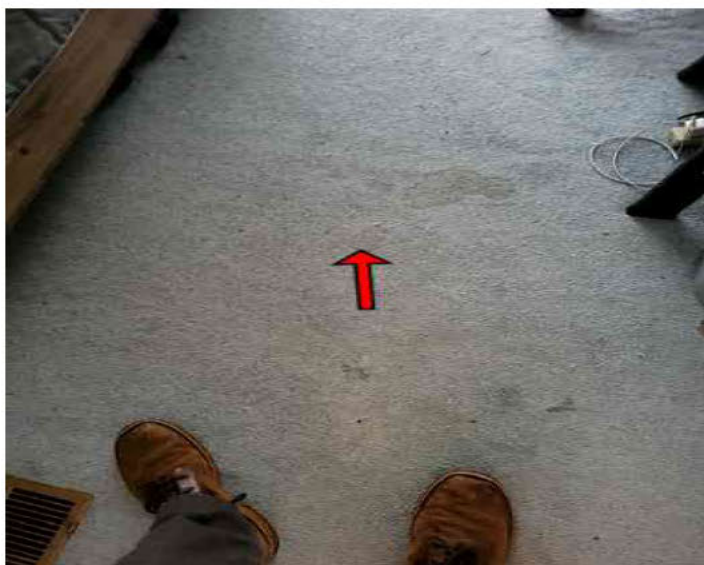
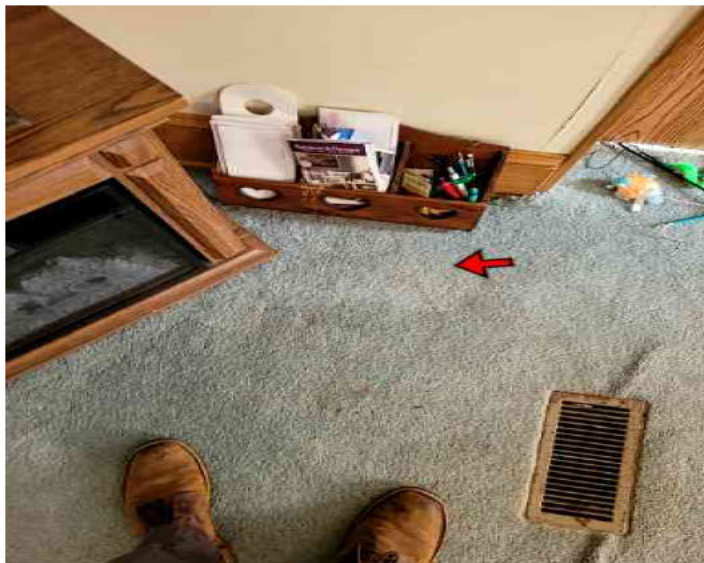
Typical drywall flaws were noted.
Some cracks were noted.
Damage was noted and should be repaired.
Stains were noted and were dry at inspection.
Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



INTERIOR

2106: Interior Floors

Damage carpet was noted and should be repaired. Uneven areas were noted and should be repaired. Living room and front bedroom. Some loose carpet noted and could cause a tripping hazard and should be repaired.



Safety Concern

2117: Smoke Detectors

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

INTERIOR

2122: Windows

Cracked glass was noted at the master bedroom and should be repaired.

Damage weather stripping was noted and should be repaired.

Missing lock was noted and should be repaired.

(addition window.)

Condensation was noted between insulated window panes and should be repaired. (Addition window)



Safety Concern



Service/Repair

GROUNDS

0208: Driveway/Parking Lot

Some cracks noted.





EXTERIOR

0304: Exposed Foundation Primary Visible Type

Other = Skirting.

Missing sections were noted and should be replaced
Damaged skirting was noted and should be repaired to
prevent vermin/rodents from entering the crawl space



Service/Repair



EXTERIOR

0307: Grading

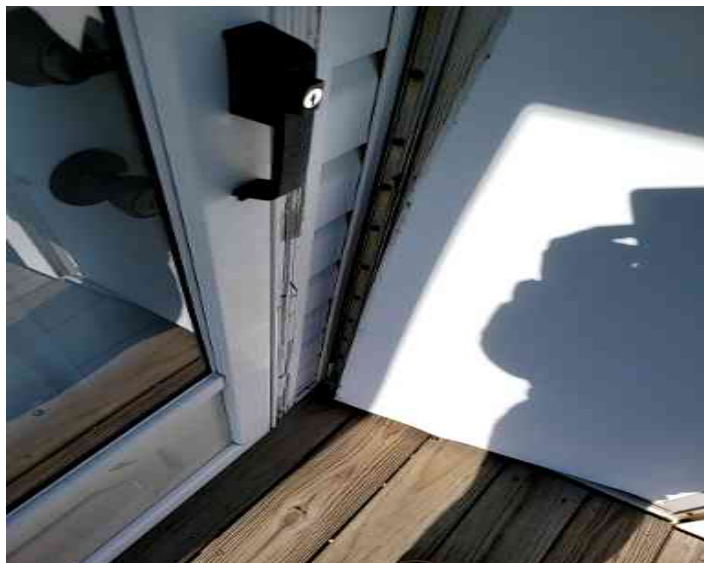
Soil should be sloped away from house to improve drainage.
Plantings were noted too close to house and should be removed.



EXTERIOR

0308: Siding

Some dents noted.



0318: Windows Storm\Screen

Some damaged screens
Some missing screens were noted.

ROOF

0511: Plumbing Vents

Other = ABS
Vent flashing should be visible behind vent pipe.



0918: Panel Schedule Filled in

Panel schedule Should be completed.

1101: WATER HEATER

Missing hurricane strap noted and should be repaired.

W. HEATER

1113: Water Heater Exterior Jacket

Rust noted on the exterior of the Water Heater



1317: Filter System

Other = There was no filter installed at the time of the inspection.

KITCHEN

1708: Kitchen Cabinets

Damaged drawers and guides were noted and should be repaired.

Some doors would not stay closed.



BATHROOM

1902: Bathroom Doors, Windows

Master bathroom door does not close properly and should be repaired
Loose panel noted at the hallway bathroom door.



BATHROOM

1905 Bathroom Walls and Ceilings

Some damage was noted and should be repaired
Stains were noted but were not wet at time of the inspection



Service/Repair



BATHROOM

1907: Bathroom Heating Cooling

Loose fitting vent cover wad noted and should be repaired



Service/Repair

1909: Bathroom Sink Stopper

Not connected in hall bath.

BATHROOM

1915: Bathtub Stopper

Other = No stopper installed



BATHROOM

1916: Bath Showerhead

Shower head is loose where it meets the wall and should be repaired.



INTERIOR

2105: Interior Ceilings

Typical drywall flaws were noted.
Water stains were noted but were not currently wet at the time of inspection.
Some cracks were noted.



Service/Repair

INTERIOR

2116: Closets/ Interior Doors

Some doors are missing.
Damage to the front bedroom door
Front door does not close properly and should be repaired
Rear bedroom door does not stay open.



Monitor/Maintain

GROUNDS

0203: Walks

Cracks and some settlement noted.

0320: Caulking

Caulking should be improved.

ROOF

0509: Flashing

Asphalt patch used as flashings will require maintenance.



0704: Cooling System 1 Approx. Age

Unit very old and extended life should not be expected.

Monitor/Maintain

COOLING

0706: Cooling System Coils and Fins

Some rust was noted on casings.



1007: Interior Water Pipes Primary Visible Type

Polybutylene piping systems are no longer installed due to leakage problems most common leaks occur at connections made with plastic fittings

1304 Forced Air System 1 Approx Age

Unit is very old and extended life should not be expected

FURNACE

1305: Forced Air System Energy Source

Exterior oil tank will require maintenance.



1714: Dishwasher Approx. Age

Unit very old and extended life should not be expected.

CHIMNEY

0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0711: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

1009 Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain

1201 LAUNDRY

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible

2111 Interior Cooling Source

The outside temperature was too low to safely test Cooling Mode

Inspection Definition/Limitation

2201 Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations Definitions of inspection opinions or areas that the inspection is limited

Satisfactory An item in normal operation, or serviceable condition, but may show normal wear

Monitor/Maintain An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

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Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

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Inspection Report Details

GROUNDS

Monitor/Maintain 0203: Walks - Concrete

Cracks and some settlement noted.

Safety Concern 0204: Steps - Wood

Poorly supported rear steps and should be repaired. Missing railing was noted and should be repaired.

Major Defect 0207: Decks - P.T. Wood

Poorly supported deck system was noted. Deck is installed on top of the sidewalk. Loose railing was noted and should be repaired. The entire deck system should be evaluated by a qualified contractor and all needed repairs should be made. The deck should be power washed and treated with water repellent.

Service/Repair 0208: Driveway/Parking Lot - Asphalt

Some cracks noted.

Satisfactory 0210: Hand Rail - Wood

EXTERIOR

Satisfactory 0302: Outside Outlets - Tested

Satisfactory 0303: Type of Building - 1 Story

Service/Repair 0304: Exposed Foundation Primary Visible Type - Other

Other = Skirting. Missing sections were noted and should be replaced. Damaged skirting was noted and should be repaired to prevent vermin/rodents from entering the crawl space

Major Defect 0306: Soffit\Fascia - Aluminum

Paint has come off at some areas and should be repaired. Loose fitting section was noted and should be repaired. Termite tubes and damage was noted at the wood behind the metal. The entire structural condition should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.

Service/Repair 0307 Grading Inadequate

Soil should be sloped away from house to improve drainage. Plantings were noted too close to house and should be removed.

EXTERIOR

Service/Repair 0308 Siding Vinyl, Aluminum

Some dents noted

0310: Trim Work - Aluminum

Safety Concern 0311: Entry Doors - Metal

The key type dead bolt should be replaced with a knob type for ease of escape in the event of fire. Back door sticks

0312: Storm Doors - Aluminum

Major Defect 0313: Patio Doors - Sliding

Condensation was noted between the panes of insulated glass on the sliding door and damaged glass should be replaced Damage to the exterior trim was noted

0314: Window Character Material - Aluminum, Vinyl

0315: Window Character Type - Double Hung

0317: Glass - Single Pane, Insulated

Service/Repair 0318: Windows Storm\Screen - MFG Fitted Storms, MFG Screens

Some damaged screens Some missing screens were noted.

0319 Weather Stripping Metal

Monitor/Maintain 0320 Caulking Windows, Doors, Siding Ends, Penetrations

Caulking should be improved

ROOF

0502: How Inspected - Walk on Roof

0503: Roof Access Restricted - Not Restricted

0504: Roof Style - Gable

Major Defect 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

ROOF

Missing shingle tabs were noted and should be repaired. Nail heads should be sealed where exposed. Poorly installed areas were noted. Loose fitting areas were noted. Soft area was noted at the roof edge. The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.

0506: Approx. Age - 15 thru 20

0507: Number of Layers - 1

0508: Roof Ventilation System - Roof

0509: Flashing - Asphalt

Asphalt patch used as flashings will require maintenance.

0511: Plumbing Vents - Other

Other = ABS Vent flashing should be visible behind vent pipe.

0512: Skylight - Insulate Glass

CHIMNEY

0602: Chimney Inspected From - Roof

0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0604: Chimney 1 Type - Metal

0605: Chimney 1 Location - Main

0608: Flue Lining - Metal

0609: Chimney Top - Metal

0610: Chimney Cap - Rain

COOLING

0702: Cooling System 1 Brand - Other

Other = Broan.

0703: Cooling System 1 Tonnage - 2 Ton

0704: Cooling System 1 Approx. Age - No date on tag and age assumed., 15 plus

COOLING

Unit very old and extended life should not be expected

0705: Heat Pump - Air to Air

0706: Cooling System Coils and Fins - Clean

Some rust was noted on casings.

0707: Cooling System Electrical - Ext. Disconnect

0708: Cooling Lines - None

0709: Condensate Drain - Plastic

0711: Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

ELECTRIC

0902: Main Electrical Service - Underground Lateral Cable

0903: Main Electrical Service Wire - Aluminum

0905: Voltage Available - 110 / 220

0906: Main Electrical Distribution Panel Accessibility - Typical

0907: Main Electrical Distribution Panel Location - Bedroom

0908: Main Electrical Disconnect - Breaker

0909: Main Panel - 100

0911: Interior Wiring Visible Primary Type - Copper 90 percent

0912: Type of Wire Visible Primary Type - Romex

0913: Grounding - Driven Rod

0914: Breakers in Use - Room for Expansion

0917: Inspection Sticker - No Inspection Sticker in Main Panel

ELECTRIC

No inspection sticker in panel and should have been inspected to ensure installation met code at the time it was installed.

Service/Repair 0918: Panel Schedule Filled in - Not Filled Out

Panel schedule should be completed.

0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

1002: Water Source - Municipal

1003: Municipal Main Supply Size - 3/4

1004: Municipal Main Supply Type - Plastic

1005: Main Water Shut Off - Crawl Space

1006: Main Gas Valve - Outside

Monitor/Maintain 1007: Interior Water Pipes Primary Visible Type - PEX, Polybutylene

Polybutylene piping systems are no longer installed due to leakage problems most common leaks occur at connections made with plastic fittings.

1008: Waste System - Municipal

**Inspection
Definition/Limitation** 1009: Interior Waste/Vent Pipes Primary Visible Type - ABS, PVC

Most piping concealed supply and drain.

1010: Number of Outside Spigots - 1

1011: Type of Outside Spigots - Frost Free

W. HEATER

Service/Repair 1101: WATER HEATER - General Comment

Missing hurricane strap noted and should be repaired.

1103: Water Heater 1 Mfg. - Rheem

1105: Water Heater 1 Approx. Age - 8

1106: Water Heater 1 Size - 40

W. HEATER

1107 Water Heater Fuel Electric

1110 Water Heater Cold Water Valve Not Present

Valve should be added

1111 Temp Pressure Relief Valve and Pipe Not present

Temp and pressure valve extension should be extended to within 6" of floor

1113: Water Heater Exterior Jacket - Rust Noted

Rust noted on the exterior of the Water Heater

LAUNDRY

1201: LAUNDRY - General Comment

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1206: Laundry Water Faucets - Single Handle

1207: Washer Drains - Trapped Line

1208: Dryer Vented - Floor

Lint leakage was noted and vent should be better sealed.

1209: Laundry Energy Source - 220 Electric

FURNACE

1302 Forced Air System 1 Mfg Miller

1303 Forced Air System 1 BTU Per Hour 60,000

1304 Forced Air System 1 Approx Age 20 plus

Unit is very old and extended life should not be expected

1305: Forced Air System Energy Source - Oil

Exterior oil tank will require maintenance.

1306 Hot Air System Direct Drive

1307 Heat Exchanger Flame Pattern Pass

FURNACE

Inspection Definition/Limitation 1308 Heat Exchanger Visual Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible

Satisfactory 1310: Distribution System Type - Up Flow

Major Defect 1311: Distribution System Material - Insul. Flex Duct, Metal Duct

Some duct work lying on the crawl space floor was water soaked and should be replaced.

Satisfactory 1312 Thermostat Single and Multi

Satisfactory 1313 Flue Piping Single Walled

Service/Repair 1317 Filter System Other

Other There was no filter installed at the time of the inspection

Major Defect 1318: Electrical Unit - Convection Base BD

Addition baseboard heat was not connected and should be evaluated and repaired.

Satisfactory 1319 Age 5 to 10 years

CRAWL SPACE

Satisfactory 1602: Crawl Space Type - Full

Satisfactory 1603: Crawl Space Access - Exterior

Satisfactory 1604: Crawl Space Foundation Walls - Other

Other = Skirting.

Major Defect 1606: Crawl Space Structural Columns - Cement Block, Wood

The wood piers were not supported properly . The entire structural condition should be evaluated by structural contractor or engineer and all needed repairs should be made.

Satisfactory 1607: Crawl Space Structural Beams - Steel

Satisfactory 1608: Crawl Space Ceiling Sub Floor - Particle BD

Satisfactory 1609: Crawl Space Ceiling Joist - Conventional

Major Defect 1610: Crawl Space Insulation - Other

CRAWL SPACE

Other Bladder insulation Insulation limits inspection of crawl space Tears in bottom covering of home expose insulation and should be repaired. All should be evaluated and all needed repairs should be made. Some mildew was noted on the insulation

1611: Crawl Space Ventilation - Wall Vents

1613: Crawl Space Floor Type - Dirt

KITCHEN

1702: Kitchen Walls - Drywall

1703: Kitchen Ceiling - Drywall

1704: Kitchen Floors - Vinyl

1705: Kitchen Heating Source - Central

1706: Kitchen Cooling Source - Central

1707: Kitchen Doors Windows - Tested

1708: Kitchen Cabinets - Custom Wood

Damaged drawers and guides were noted and should be repaired. Some doors would not stay closed.

1709: Kitchen Sink - Stainless

1710: Kitchen Sink Faucet - Hot and Cold

1712: Kitchen Drain and Trap - Other

Other = ABS

1714: Dishwasher Approx. Age - 15 or older

Unit very old and extended life should not be expected.

1715: Dishwasher Mfg. - GE

The device would not operate when tested and should be repaired or replaced.

1717: Exhaust Fan Hood - Hood Exhaust

Light did not work at time of inspection. The fan was not working at the time of the inspection.

1718: Range Oven - Free Standing

KITCHEN

Self cleaning if on stove not part of inspection and will not be tested. A stabilizing device should be installed to prevent movement of the stove.

Satisfactory

1719: Surface Cooktop - Gas

Safety Concern

1720: Kitchen Wall Receptacles - Grounded

Recommend adding GFCI outlets in areas near water.

Satisfactory

1721: Kitchen Switches Fixtures - Fixed, Track

BATHROOM

Service/Repair

1902: Bathroom Doors, Windows - Door/ Lock

Master bathroom door does not close properly and should be repaired. Loose panel noted at the hallway bathroom door.

Satisfactory

1903: Bathroom Electric Switches and Fixtures - Ceiling, Wall

Satisfactory

1904: Bathroom Receptacles - GFCI

Service/Repair

1905: Bathroom Walls and Ceilings - Drywall

Some damage was noted and should be repaired. Stains were noted but were not wet at time of the inspection.

Service/Repair

1907: Bathroom Heating Cooling - Central Sys

Loose fitting vent cover was noted and should be repaired.

Satisfactory

1908: Bathroom Sink Faucets - Individual

Service/Repair

1909: Bathroom Sink Stopper - Rubber Plug, Push Pull

Not connected in hall bath.

Satisfactory

1910: Bathroom Sink Basin - Plastic, Cast Marble

Satisfactory

1911: Bathroom Sink Drain and Trap - Other

Other = ABS

Satisfactory

1912: Toilet Bowl and Tank - 2 Piece

Satisfactory

1913: Toilet Operation - Flushes, Drains, Refills

Satisfactory

1914: Bathtub Faucets - Individual

Service/Repair

1915: Bathtub Stopper - Other

BATHROOM

Other = No stopper installed

Service/Repair 1916: Bath Showerhead - Standard

Shower head is loose where it meets the wall and should be repaired.

1917: Seal Around Tub - 1 Piece Shower Tub

1918: Tub Wall Encl. - Plastic, Fiberglass

1919: Bathroom Ventilation - Fan

1920: Bathroom Floor - Ceramic

1922: Shower Drain - Tub

1924: Number of Full Baths - 2

INTERIOR

2103: Number of Bedrooms - 2

Safety Concern 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted. Some cracks were noted. Damage was noted and should be repaired. Stains were noted and were dry at inspection. Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Service/Repair 2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted. Water stains were noted but were not currently wet at the time of inspection. Some cracks were noted.

Safety Concern 2106: Interior Floors - Vinyl, Carpet, Tile

Damage carpet was noted and should be repaired. Uneven areas were noted and should be repaired. Living room and front bedroom. Some loose carpet noted and could cause a tripping hazard and should be repaired.

2110: Interior Heat Source - Tested

**Inspection
Definition/Limitation** 2111: Interior Cooling Source - Not Tested

The outside temperature was too low to safely test Cooling Mode.

2112: Interior Cabinets and Shelving - Accessible

Service/Repair 2116: Closets/ Interior Doors - Doors in Place

INTERIOR

Some doors are missing. Damage to the front bedroom door. Front door does not close properly and should be repaired. Rear bedroom door does not stay open.

Safety Concern 2117 Smoke Detectors Too Few

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall within 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

2120 Ceiling Fan Tested

2121 Skylight No Evidence of Leakage

Safety Concern 2122 Windows Operated

Cracked glass was noted at the master bedroom and should be repaired. Damage weather stripping was noted and should be repaired. Missing lock was noted and should be repaired. (addition window.) Condensation was noted between insulated window panes and should be repaired. (Addition window)

2123: GFCI Rest - Reset

Inspection Description/Limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not expert in any specific field, and further evaluation are often needed. Qualified expert should be chosen carefully, and should be allowed to thoroughly inspect the entire property and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliance, roof, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limit of its age and any defect or current problem noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any question related to the home or its maintenance for the time that you own the property. The "Whole Home Inspection" is conducted according to the standard set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might affect your decision whether to purchase. Unfortunately, we cannot take away all the risk of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observation only. The inspector may not move furniture and personal property or dismantle any appliance aside from removing cover on heater, electrical panel, etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observation of the apparent condition at the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor who is licensed to authorize the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defect or concern mentioned in this report. This report is not a warranty or guarantee, expressed or implied. There are warranty programs that may be obtained inure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the document provided with the warranty program carefully. Home buyer, after occupying the home, sometimes overlook important information and warnings contained in their report. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advice, and recommendation had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspector's report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in a free in-home proposal offered by contractor for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.