



Reliable Home Inspection Service
100 Old Kennet Rd
Wilmington, DE 19807
302-993-9100
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By:
Francis Glynn H4-0000078 ASHI #253366 MD# 33646

Referral Information [REDACTED]

Client Information: [REDACTED]

Inspected Thursday, [REDACTED]

FRONT VIEW



PHOTO

Inspection Summary

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Major Defect

EXTERIOR

0309: Masonry Walls

Other= Missing areas of flashing noted at the garage windows and should be repaired.



Safety Concern

GARAGE

0806: Garage Windows

Cracked glass was noted and should be repaired.



ELECTRIC

0919: Electrical Defaults

Disconnected wiring noted in the basement and should be connected or removed.



Safety Concern



BASEMENT

1511: Basement Ceiling Joist Visible Primary Type

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Safety Concern

ATTIC

2005: Attic Structural Framing Type

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



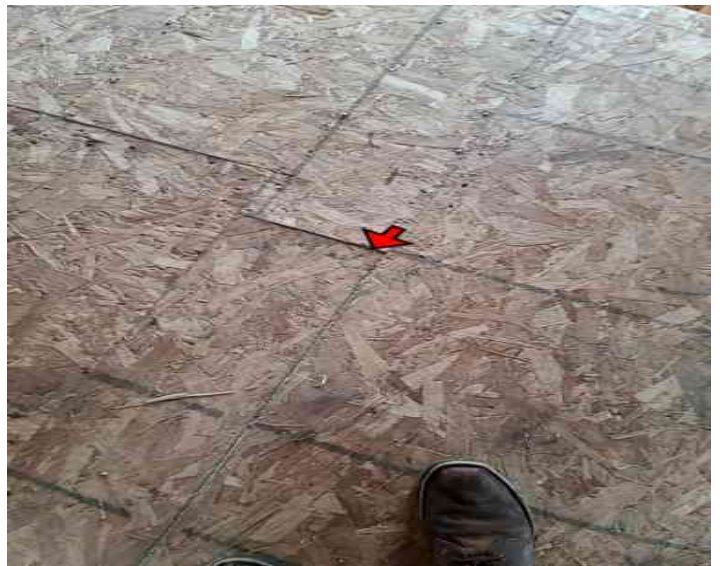
INTERIOR

2106: Interior Floors

Hole in the floor should be repaired. Main living area.
Uneven areas of the sub floor noted in the master bedroom and should be repaired.
Uneven subfloor noted at the master closet and should be repaired.
Uneven areas were noted at the sub floor at the 2nd floor hallway and should be repaired.
Raised nails were noted at the 2nd floor hallway floor and should be repaired.



Safety Concern



Service/Repair

EXTERIOR

0301: EXTERIOR

Missing vent cover was noted and should be repaired.



EXTERIOR

0304: Exposed Foundation Primary Visible Type

Some cracks noted. Open areas were noted at the front side door and should be repaired.
Set in should be removed.

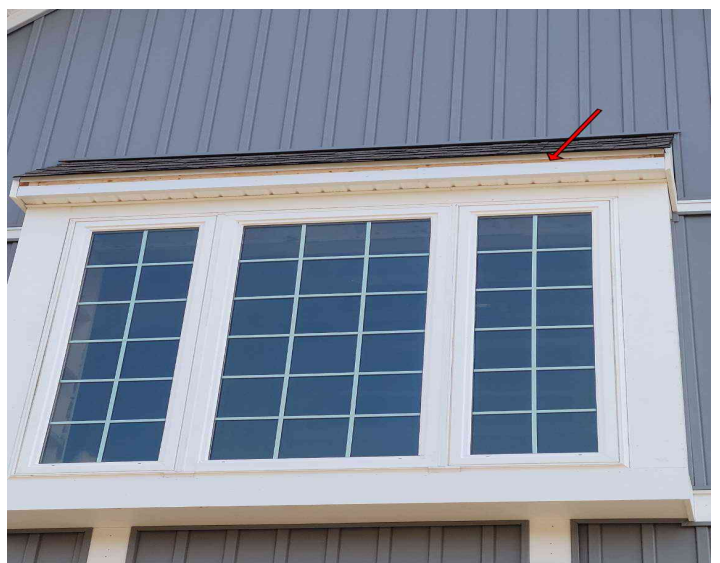




EXTERIOR

0306: Soffit\Fascia

Missing section was noted and should be repaired.
Exposed wood above the master bathroom window and should be repaired.



Service/Repair

EXTERIOR

0307: Grading

Soil should be sloped away from house to improve drainage.



GARAGE

0811: Garage Interior Walls

Some bolts should be tightened.



Service/Repair

PLUMBING

1007: Interior Water Pipes Primary Visible Type

Some areas of plumbing should be better supported.
Garage shared wall.



BASEMENT

1503: Basement Access

Undermining was noted at the exterior stairs and
should be repaired.



BASEMENT

1508: Basement Structural Columns Visible Primary Type

Footer holes should be filled in.



Service/Repair

KITCHEN

1707: Kitchen Doors Windows

Pantry window is tight to open and does not lock properly and should be repaired.



BATHROOM

1902: Bathroom Doors, Windows

Jack and Jill bathroom window is tight to open.



Service/Repair

BATHROOM

1917: Seal Around Tub

Jack and Jill tub surround should be better attached to the wall.



BATHROOM

1921: Shower Stall Walls

Other = Rough framing.
Shower stall half wall is loose and should be repaired.



BATHROOM

1922: Shower Drain

Daylight showing at the master shower drain hole and should be properly sealed.



INTERIOR

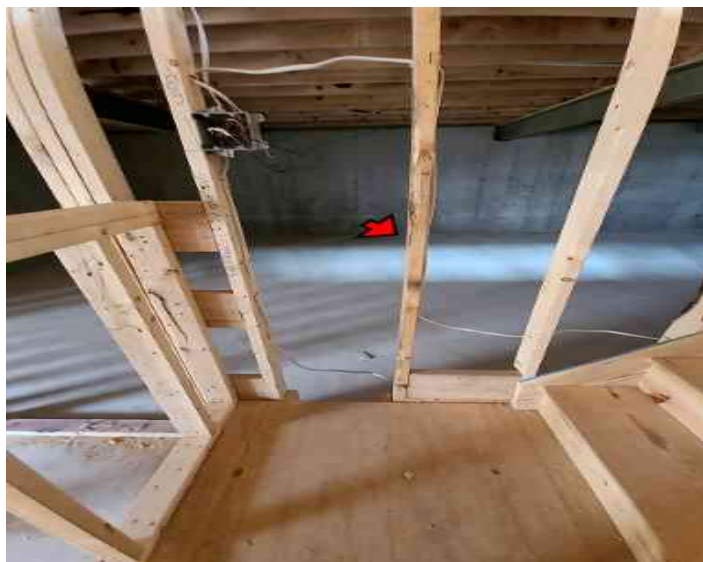
2104: Interior Walls

Other = Rough framing.

Bowed stud at the bottom of the basement steps and should be repaired.

Bowed and loose stud at the rear right bedroom wall and should be repaired.

Bowed studs at the left rear bedroom and should be repaired.



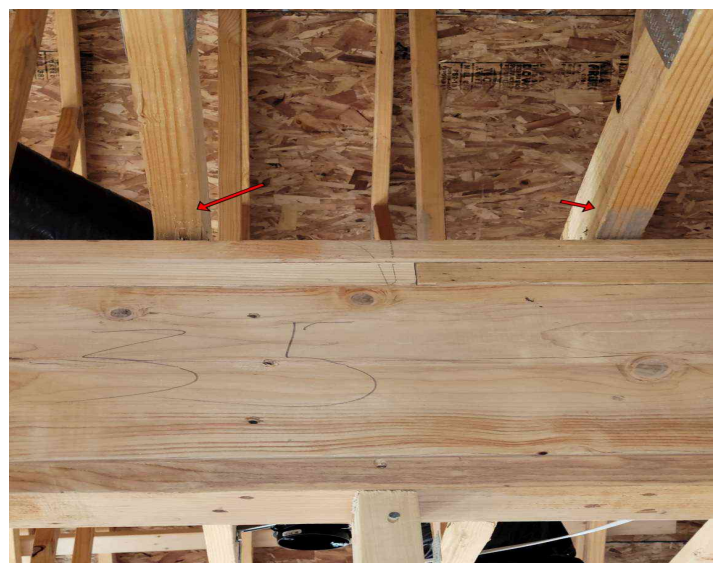
Service/Repair



INTERIOR

2105: Interior Ceilings

Other = Rough framing.
Roof trusses are raised off the top of the wall sill and should be repaired.



INTERIOR

2122: Windows

Front family room right window will not lock properly and should be repaired.

Sunroom left rear window does not lock and should be repaired.

Rear window at sunroom right of the sliding door does not lock and should be repaired.

Back left bedroom windows so not lock and should be repaired.

Front right bedroom windows get stuck opening and should be repaired.



Monitor/Maintain

GARAGE

0801: GARAGE

Garage inspection limited by heavy storage.



1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.

Inspection Definition/Limitation

ATTIC

2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

Inspection Definition/Limitation

2201: Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.

Pre drywall inspection limited and is part one of two inspections and will not be a complete inspection until finish out is completed. the primary reason for inspection is areas to be covered in drywall in this case insulation was in and limited inspection.

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

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Inspection Report Details

GROUNDS

0205: Porches - Concrete

EXTERIOR

Service/Repair 0301: EXTERIOR - General Comment

Missing vent cover was noted and should be repaired.

0303: Type of Building - Frame, 2 Story

Service/Repair 0304: Exposed Foundation Primary Visible Type - Poured Concrete

Some cracks noted. Open areas were noted at the front side door and should be repaired. Set in should be removed.

Service/Repair 0306: Soffit\Fascia - Aluminum, Vinyl

Missing section was noted and should be repaired. Exposed wood above the master bathroom window and should be repaired.

Service/Repair 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

0308: Siding - Vinyl

Major Defect 0309: Masonry Walls - Other

Other= Missing areas of flashing noted at the garage windows and should be repaired.

0311: Entry Doors - Metal

0313: Patio Doors - Sliding

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung, Fixed

0317: Glass - Insulated

0319: Weather Stripping - Rubber\Vinyl

GARAGE

Monitor/Maintain 0801: GARAGE - General Comment

GARAGE

Garage inspection limited by heavy storage.

0802: Garage Type - 3 Car Attached

0803: Garage Exterior Walls - Same as House

0806: Garage Windows - Vinyl

Cracked glass was noted and should be repaired.

0811: Garage Interior Walls - Unfinished

Some bolts should be tightened.

0812: Garage Interior Ceiling - Unfinished

0813: Garage Floor - Concrete

ELECTRIC

0902: Main Electrical Service - Underground Lateral Cable

0903: Main Electrical Service Wire - Aluminum

0905: Voltage Available - 110 / 220

0906: Main Electrical Distribution Panel Accessibility - Typical

0907: Main Electrical Distribution Panel Location - Basement

0908: Main Electrical Disconnect - Breaker

0909: Main Panel - 200

0919: Electrical Defaults - Main Panel

Disconnected wiring noted in the basement and should be connected or removed.

PLUMBING

1007: Interior Water Pipes Primary Visible Type - PEX

Some areas of plumbing should be better supported. Garage shared wall.

LAUNDRY

1205: Laundry Sink Drain Trap - PVC

LAUNDRY

- Satisfactory** 1206: Laundry Water Faucets - Gate Type
- Satisfactory** 1207: Washer Drains - Trapped Line
- Satisfactory** 1208: Dryer Vented - Wall
- Satisfactory** 1209: Laundry Energy Source - 220 Electric

BASEMENT

- Satisfactory** 1502: Basement Type - Full Basement
- Service/Repair** 1503: Basement Access - Interior Stairs, Exterior Stairs

Undermining was noted at the exterior stairs and should be repaired.

- Monitor/Maintain** 1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration.

- Satisfactory** 1505: Foundation Anchors - Anchor Straps
- Satisfactory** 1506: Basement Floor - Cement
- Satisfactory** 1507: Basement Bridging - None
- Service/Repair** 1508: Basement Structural Columns Visible Primary Type - Steel

Footer holes should be filled in.

- Satisfactory** 1509: Basement Structural Beams Visible Primary Type - Steel
- Satisfactory** 1510: Basement Ceiling Sub Floor Visible Primary Type - Plywood
- Safety Concern** 1511: Basement Ceiling Joist Visible Primary Type - Conventional

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

- Satisfactory** 1514: Basement Drainage - Sump Pump

KITCHEN

- Service/Repair** 1707: Kitchen Doors Windows - Tested

KITCHEN

Pantry window is tight to open and does not lock properly and should be repaired.

HALF BATH

Satisfactory	1803: Half Bath Electric Switches and Fixtures - Wall
Satisfactory	1807: Half Bath Heating and Cooling - Central
Satisfactory	1814: Half Bath Ventilation - Fan
Satisfactory	1816: Number of Half Baths - 1

BATHROOM

Service/Repair	1902: Bathroom Doors, Windows - Door/ Lock
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Jack and Jill bathroom window is tight to open.

Satisfactory	1903: Bathroom Electric Switches and Fixtures - Ceiling, Wall
Satisfactory	1907: Bathroom Heating Cooling - Central Sys
Service/Repair	1917: Seal Around Tub - 1 Piece Shower Tub

Jack and Jill tub surround should be better attached to the wall.

Satisfactory	1918: Tub Wall Encl. - Fiberglass
Satisfactory	1919: Bathroom Ventilation - Fan
Service/Repair	1921: Shower Stall Walls - Other

Other = Rough framing. Shower stall half wall is loose and should be repaired.

Service/Repair	1922: Shower Drain - Tub, Floor Drain Stall
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Daylight showing at the master shower drain hole and should be properly sealed.

Satisfactory	1923: Shower Faucets - Single Lever
Satisfactory	1924: Number of Full Baths - 3

ATTIC

Inspection Definition/Limitation	2002: Attic Accessibility - Access restricted
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ATTIC

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2003: Attic Entry Access - Hatch

2004: Attic Access Location - Closet

2005: Attic Structural Framing Type - Trusses

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

2006: Attic Structural Framing Spacing - 24 inches on Center

2007: Attic Sheathing - Particle Board

2011: Attic Ventilation - Ridge, Soffit

2013: Attic Vent Pipes - Vented Outside

2014: Attic Exhaust - Vents Outside

INTERIOR

2103: Number of Bedrooms - 4

2104: Interior Walls - Other

Other = Rough framing. Bowed stud at the bottom of the basement steps and should be repaired. Bowed and loose stud at the rear right bedroom wall and should be repaired. Bowed studs at the left rear bedroom and should be repaired.

2105: Interior Ceilings - Other

Other = Rough framing. Roof trusses are raised off the top of the wall sill and should be repaired.

2106: Interior Floors - Wood

Hole in the floor should be repaired. Main living area. Uneven areas of the sub floor noted in the master bedroom and should be repaired. Uneven subfloor noted at the master closet and should be repaired. Uneven areas were noted at the sub floor at the 2nd floor hallway and should be repaired. Raised nails were noted at the 2nd floor hallway floor and should be repaired.

2113: Interior Fire Place 1 - Gas Log Fireplace

INTERIOR

Service/Repair 2122: Windows - Operated

Front family room right window will not lock properly and should be repaired. Sunroom left rear window does not lock and should be repaired. Rear window at sunroom right of the sliding door does not lock and should be repaired. Back left bedroom windows so not lock and should be repaired. Front right bedroom windows get stuck opening and should be repaired.

Satisfactory 2123: GFCI Rest - Reset

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