



Reliable Home Inspection Service
100 Old Kennett Road
Wilmington, DE 19807
302/993-9100
reliablehomeinspections1@gmail.com
www.reliablehomeinspectionsservice.com

Inspected By:

Referral Information

Client Information: Record Number 420259816

FRONT VIEW

PHOTO



Inspection Summary

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Major Defect

EXTERIOR

EXTERIOR

All exterior wood should be evaluated, and repaired, due to wood rot



Major Defect

Trim Work

Some loose paint and wood rot noted.
All exterior wood products should be evaluated by a qualified contractor and all needed repairs should be made.



GARAGE

Garage Doors

Some wood rot was noted at the base of the garage door.
Badly rotted areas of the door frame should be repaired.

Major Defect

ELECTRIC

ELECTRICAL SYSTEM

Knob and tube in attic noted, ,have entire electrical system evaluated,and repaired.



Major Defect

Type of Wire Visible Primary Type

Some knob and tube wiring is still in use.
Some knob and tube wiring is still in use. have entire electrical system, evaluated, and repaired.



Major Defect

PLUMBING

Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.
Damaged cast piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made

Most piping concealed supply and drain.



BOILER

Boiler System Energy Source

There is an abandoned oil tank an oil tank on the property., have removed.



Major Defect

BASEMENT

Basement Access

There was no hand rail noted in basement and one should be installed.
Damaged set of steps loose when walked and should be repaired and hand rail installed.
Some rot noted and should be repaired.



Major Defect

Basement Floor

Some mud stains were noted and indicate water entry.
Some cracks, water penetration, were noted.



Major Defect

Basement Structural Columns Visible Primarey Type

Some corrosion was noted at the base of posts.
The system should be evaluated by a qualified contractor and all
needed repairs should be made.
The column is a temporary/makeshift support.



Major Defect

Basement Ceiling Joist Visible Primarey Type

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Some rot noted at pockets and should be repaired some loose shims noted and should be repaired.

Some wood rot and damage were noted.

The entire structural condition should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.

Improperly sistered joists noted, have evaluated, and repaired.



INTERIOR

Interior Floors

Some sloping areas noted and some damage noted and should be monitored.

The floor/subfloor is swollen.

The floor is uneven/not level.

Some stained and sloping areas were noted but are common in older homes.

Some cupping noted in floors indicate moisture below.

Major Defect

Interior Walls

Typical plaster/ drywall flaws noted.
 Some poorly finished areas were noted.
 Some cracks and water damage were noted.
 Water stains were noted, but were not currently wet at the time of inspection. Bulging plaster walls noted
 Incomplete finish work was noted in most of the home. Some poorly finished areas were noted and all should be repaired.



Safety Concern

GROUNDS

Porches

Other =
 Other =Vinyl

Hand Rail

Other =
 Other =Vinyl
 Loose railing on front and should be repaired.



Safety Concern

ELECTRIC

Electrical Duplex Receptacles Primary Type

Missing plates were noted.



Safety Concern

BASEMENT

Basement Foundation Walls Primary Visable type

Some cracks and water penetration noted.
There were some areas of loose parging and water penetration.
There were some cracks and evidence of water penetration.
Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Safety Concern

Basement Drainage

Recommend adding cover.



KITCHEN

Range Oven

Self cleaning if on stove not part of inspection and will not be tested.
A stabilizing device should be installed to prevent movement of the stove.

Kitchen Wall Receptacles

Recommend adding GFCI outlets in areas near water.

BATHROOM

Bathroom Receptacles

Recommend adding GFCI outlets near water.

Safety Concern

ATTIC

Attic Structural Framing Type

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



INTERIOR

Interior Switches

Missing switch plates were noted and should be installed.

Interior Fixtures

Stairways

There was no railing on the basement steps.
Loose railing noted on the main stairs.

Service/Repair

EXTERIOR

Exposed Foundation Primary Visable Type

Some cracks and loose and missing mortar joints were noted.



Service/Repair

Masonry Walls

Some loose and missing mortar joints noted and should be repaired.
Masonry wall type = parge on stone.



Service/Repair

Caulking

Caulking should be improved.



GROUNDS

Walks

Cracks and some settlement noted.

Driveway/Parking Lot

Some cracks noted.

Retaining Wall

Loose and missing mortar noted and should be repaired.



Service/Repair

GUTTERS

Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage. The gutters have debris in them and should be cleaned.



Service/Repair

ROOF

Roof Covering Primary Type

A few cracked shingles were noted and should be repaired.
Missing aggregate noted in many areas and roof is showing wear,
Moss was noted growing on the roof surface.
Debris on roof should be removed



Service/Repair

CHIMNEY

Chimney 1 Type

Some rust noted and should be repaired.
Some loose and missing mortar joints should be repaired.
Poorly flashed areas of chimney should be improved.



Service/Repair

GARAGE

Garage Floor

Some cracks, stains, noted



Service/Repair

PLUMBING

Interior Water Pipes Primarey Visible Type

Some minor leaks were noted at valves and should be repaired.



BATHROOM

Bathroom Walls and Ceilings

Damaged tiles noted



ATTIC

Attic Insulation Thickness

Very little insulation installed and suggest adding more R-30 is suggested.

Service/Repair

INTERIOR

Ceiling Fan

Ceiling fans should rotate clockwise in the winter time and counterclockwise in the summer.
The ceiling fan did not operate at time of inspection.



Closets

Some doors are missing.



Service/Repair

Windows

Condensation was noted between insulated window panes.



Monitor/Maintain

EXTERIOR

Grading

Soil should be sloped away from house to improve drainage.

Patio Doors

Some loose paint and wood rot noted.

CHIMNEY

Chimney Top

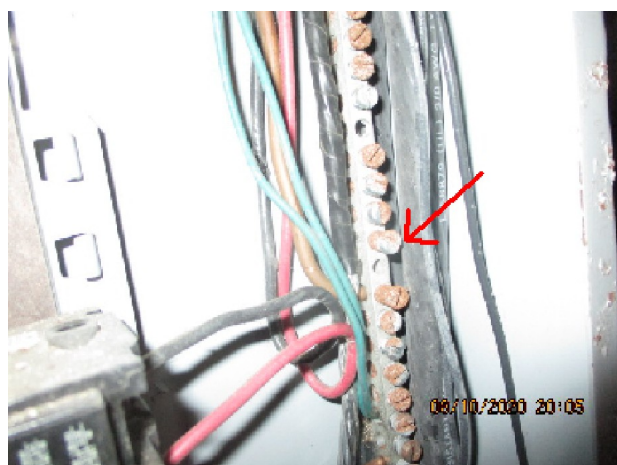
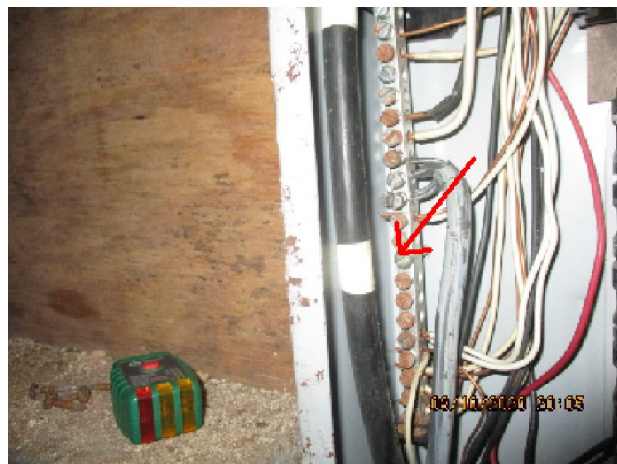
Some cracks noted in chimney top.

Monitor/Maintain

ELECTRIC

Electrical Defaults

Evidence of water entering panel was noted and should be monitored.



PLUMBING

Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.



W. HEATER

Water Heater 1 Approx. Age

Unit old and extended life should not be expected.

Monitor/Maintain

INTERIOR

Smoke Detectors

Smoke detectors should be checked on the day home is occupied.

Inspection Definition/Limitation

GUTTERS

Runoff Drains

Location and condition of underground drains unknown.



Inspection Definition/Limitation

CHIMNEY

Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.



GARAGE

GARAGE

Garage inspection limited by heavy storage.



HALF BATH

Half Bath Sink Faucets

Hot water turned off to sink

Inspection Definition/Limitation

ATTIC

Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

INTERIOR

Interior Fire Place 2

The chimney has been permanently sealed.

Interior Fire Place 1

The chimney is permanently sealed 2ND.



Interior Cabinets and Shelving

Access limited by heavy storage.

Inspection Definition/Limitation

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advice, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Report Details

EXTERIOR

Major Defect
EXTERIOR - General Comment

All exterior wood should be evaluated, and repaired, due to wood rot

Satisfactory
Outside Outlets - Tested
Satisfactory
Type of Building - Masonry
Service/Repair
Exposed Foundation Primary Visible Type - Stone

Some cracks and loose and missing mortar joints were noted.

Satisfactory
Soffit\Fascia - Aluminum
Monitor/Maintain
Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Satisfactory
Siding - Vinyl
Service/Repair
Masonry Walls - Stone

Some loose and missing mortar joints noted and should be repaired.
Masonry wall type = parge on stone.

Major Defect
Trim Work - Wood

Some loose paint and wood rot noted.

All exterior wood products should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory
Entry Doors - Wood Solid Core
Satisfactory
Storm Doors - Aluminum
Monitor/Maintain
Patio Doors - Wood Thermo

Some loose paint and wood rot noted.

Satisfactory
Window Character Material - Vinyl
Satisfactory
Window Character Type - Double Hung
Satisfactory
Additional Windows - Mixed Windows
Satisfactory
Glass - Insulated
Satisfactory
Windows Storm\Screen - MFG Screens

EXTERIOR

Satisfactory Weather Stripping - Rubber/Vinyl

Service/Repair Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GROUNDS

Service/Repair Walks - Concrete

Cracks and some settlement noted.

Satisfactory Patio - Concrete

Safety Concern Porches - Other

Other =

Other =Vinyl

Service/Repair Driveway/Parking Lot - Asphalt

Some cracks noted.

Service/Repair Retaining Wall - Pre-cast

Loose and missing mortar noted and should be repaired.

Safety Concern Hand Rail - Other

Other =

Other =Vinyl

Loose railing on front and should be repaired.

GUTTERS

Satisfactory Inspected From - Roof

Satisfactory Access Restricted - Not Restricted

Service/Repair Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.
The gutters have debris in them and should be cleaned.

Satisfactory Downspout Type - Aluminum

Satisfactory Sealed Downspouts - All

Inspection Definition/Limitation Runoff Drains - Plastic

Location and condition of underground drains unknown.

Satisfactory Splash Blocks - None

ROOF

Satisfactory How Inspected - Walk on Roof

Satisfactory Roof Access Restricted - Not Restricted

Satisfactory Roof Style - Gable

Service/Repair Roof Covering Primary Type - Fiberglass asphalt shingle

A few cracked shingles were noted and should be repaired.
Missing aggregate noted in many areas and roof is showing wear,
Moss was noted growing on the roof surface.
Debris on roof should be removed

Satisfactory Approx. Age - 10 thru 15

Satisfactory Number of Layers - 1

Satisfactory Roof Ventilation System - Ridge, Soffit

Satisfactory Flashing - Aluminum, Copper

Satisfactory Plumbing Vents - Cast Iron

CHIMNEY

Satisfactory Chimney Inspected From - Roof

Inspection Definition/Limitation Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Service/Repair Chimney 1 Type - Stone

Some rust noted and should be repaired.
Some loose and missing mortar joints should be repaired.
Poorly flashed areas of chimney should be improved.

Satisfactory Chimney 1 Location - Main, Fireplace

Satisfactory Flue Lining - Clay Tile

Monitor/Maintain Chimney Top - Cement

Some cracks noted in chimney top.

Satisfactory Chimney Cap - Rain

GARAGE

Inspection Definition/Limitation

GARAGE - General Comment

Garage inspection limited by heavy storage.

Satisfactory

Garage Type - 3 Car Attached

Satisfactory

Garage Exterior Walls - Same as House

Satisfactory

Garage Fascia\Soffit - Aluminum

Satisfactory

Garage Guttering - Aluminum

Satisfactory

Auto Garage Door Lift Controls - Manual

Satisfactory

Garage Interior Walls - Drywall\Plaster

Satisfactory

Garage Interior Ceiling - Drywall\Plaster

Service/Repair

Garage Floor - Concrete

Some cracks, stains, noted

Major Defect

Garage Doors - Wood\Panel, Sliding

Some wood rot was noted at the base of the garage door.
Badly rotted areas of the door frame should be repaired.

ELECTRIC

Major Defect

ELECTRICAL SYSTEM - General Comment

Knob and tube in attic noted, ,have entire electrical system evaluated,and repaired.

Satisfactory

Main Electrical Service - Attached To House

Satisfactory

Main Electrical Service Wire - Aluminum

Satisfactory

Overhead Clearance - 16 Feet

Satisfactory

Voltage Available - 110 / 220

Satisfactory

Main Electrical Distribution Panel Accessibility - Typical

Satisfactory

Main Electrical Distribution Panel Location - Basement

ELECTRIC

Satisfactory Main Electrical Disconnect - Breaker

Satisfactory Main Panel - 200

Satisfactory Sub Panel - 60

Satisfactory Interior Wiring Visible Primarey Type - Combination, Copper

Major Defect Type of Wire Visable Primary Type - Romex, Conduit, BX Cable, Knob and Tube Basement, Knob and Tube Attic

Some knob and tube wiring is still in use.

Some knob and tube wiring is still in use.have entire electrical system, evaluated ,and repaired.

Satisfactory Grounding - Driven Rod

Satisfactory Breakers in Use - 100 percent

Satisfactory Inspection Sticker - Main Panel

Monitor/Maintain Electrical Defaults - Main Panel

Evidence of water entering panel was noted and should be monitored.

Safety Concern Electrical Duplex Receptacles Primary Type - 2 Slotted , 3 Slotted

Missing plates were noted.

PLUMBING

Satisfactory Water Source - Municipal

Satisfactory Municipal Main Supply Size - 3/4

Satisfactory Municipal Main Supply Type - Copper

Satisfactory Main Water Shut Off - Basement

Satisfactory Main Gas Valve - Outside

Service/Repair Interior Water Pipes Primarey Visible Type - Copper

Some minor leaks were noted at valves and should be repaired.

Satisfactory Waste System - Municipal

PLUMBING

Major Defect

Interior Waste/Vent Pipes Primary Visable Type - PVC, Cast Iron

Most piping concealed supply and drain.

Damaged cast piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made

Most piping concealed supply and drain.

Satisfactory

Number of Outside Spigots - 2

Monitor/Maintain

Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

W. HEATER

Satisfactory

Water Heater 1 Mfg. - Bradford White

Satisfactory

Water Heater 1 Rated BTU Per Hour - 40,000 +

Monitor/Maintain

Water Heater 1 Approx. Age - 15 plus

Unit old and extended life should not be expected.

Satisfactory

Water Heater 1 Size - 40

Satisfactory

Water Heater Fuel - Gas

Satisfactory

Water Heater Flue Pipe - Single Wall

Satisfactory

Water Heater Gas Piping - Valve On Off

Satisfactory

Water Heater Cold Water Valve - Present

Satisfactory

Temp. Pressure Relief Valve and Pipe - Present

Satisfactory

Water Heater Exterior Jacket - OK

LAUNDRY

Satisfactory

Laundry Sink - Plastic

Satisfactory

Laundry Sink Faucets - Tested

Satisfactory

Laundry Sink Drain Trap - PVC

LAUNDRY

| | |
|--------------|--------------------------------------|
| Satisfactory | Laundry Water Faucets - Gate Type |
| Satisfactory | Washer Drains - Trapped Line |
| Satisfactory | Dryer Vented - Floor |
| Satisfactory | Laundry Energy Source - 220 Electric |

BOILER

| | |
|--------------|---|
| Satisfactory | Manufacture - Peerless |
| Satisfactory | Approx Age - 4 |
| Satisfactory | Rated BTU Per Hour - 150000 or more |
| Major Defect | Boiler System Energy Source - Gas There is an abandoned oil tank an oil tank on the property., have removed. |
| Satisfactory | Boiler System Distribution Type - Hot Water, Radiator |
| Satisfactory | Boiler System Circulator #Pumps - 2 |
| Satisfactory | Boiler System Thermostat - Individual |
| Satisfactory | Boiler System Controls - Temp. Pressure Relief |
| Satisfactory | Boiler Pressure Controls - Temp. Pressure Gauge |
| Satisfactory | Boiler Emer. Disconnect - Tumble Switch or Fuse |
| Satisfactory | Boiler System Distribution Material Primary Visabl - Steel, Copper |
| Satisfactory | Boiler System Circulator Zone Number - 2 |
| Satisfactory | Boiler System Circulator Pipe Gravity - Original |

BASEMENT

Satisfactory

Basement Type - Full Percent

Major Defect

Basement Access - Interior Stairs

There was no hand rail noted in basement and one should be installed.
 Damaged set of steps loose when walked and should be repaired and hand rail installed.
 Some rot noted and should be repaired.

Safety Concern

Basement Foundation Walls Primary Visable type - Stone

Some cracks and water penetration noted.
 There were some areas of loose parging and water penetration.
 There were some cracks and evidence of water penetration.
 Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Major Defect

Basement Floor - Cement

Some mud stains were noted and indicate water entry.
 Some cracks, water penetration, were noted.

Satisfactory

Basement Bridging - Wood

Major Defect

Basement Structural Columns Visible Primarey Type - Wood, Steel

Some corrosion was noted at the base of posts.
 The system should be evaluated by a qualified contractor and all needed repairs should be made.
 The column is a temporary/makeshift support.

Satisfactory

Basement Structural Beams Visible Primarey Type - Wood

Satisfactory

Basement Ceiling Sub Floor Visible Primarey Type - Sheathing BD.

Major Defect

Basement Ceiling Joist Visible Primarey Type - Conventional

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.
 Some rot noted at pockets and should be repaired some loose shims noted and should be repaired.
 Some wood rot and damage were noted.
 The entire structural condition should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.
 Improperly sistered joists noted, have evaluated, and repaired.

Safety Concern

Basement Drainage - Sump Pump

Recommend adding cover.

KITCHEN

Satisfactory

Kitchen Walls - Plaster, Tile

Satisfactory

Kitchen Ceiling - Plaster

Satisfactory

Kitchen Floors - Vinyl

KITCHEN

| | |
|-----------------------|---|
| Satisfactory | Kitchen Heating Source - Central |
| Satisfactory | Kitchen Doors Windows - Tested |
| Satisfactory | Kitchen Cabinets - Custom Wood |
| Satisfactory | Kitchen Sink - Stainless |
| Satisfactory | Kitchen Sink Faucet - Single Lever |
| Satisfactory | Kitchen Drain and Trap - Brass Nickel |
| Satisfactory | Dishwasher Approx. Age - 10 or older |
| Satisfactory | Dishwasher Mfg. - Whirlpool |
| Satisfactory | Trash Compactor - None |
| Satisfactory | Exhaust Fan Hood - None |
| Safety Concern | Range Oven - Free Standing Self cleaning if on stove not part of inspection and will not be tested. A stabilizing device should be installed to prevent movement of the stove. |
| Satisfactory | Surface Cooktop - Gas |
| Safety Concern | Kitchen Wall Receptacles - Grounded Recommend adding GFCI outlets in areas near water. |
| Satisfactory | Kitchen Switches Fixtures - Fixed |

HALF BATH

| | |
|--------------|---|
| Satisfactory | Half Bath Doors and Windows - Door Lock |
| Satisfactory | Half Bath Electric Switches and Fixtures - Wall |
| Satisfactory | Half Bath Receptacles - None |
| Satisfactory | Half Bath Walls and Ceilings - Plaster |

HALF BATH

Satisfactory Half Bath Exhaust System - Window

Satisfactory Half Bath Heating and Cooling - Central

Inspection Definition/Limitation Half Bath Sink Faucets - Individual

Hot water turned off to sink

Satisfactory Half Bath Sink Stopper - Push Pull

Satisfactory Half Bath Sink Basin - Porcelain

Satisfactory Half Bath Sink Drain and Trap - Chrome

Satisfactory Toilet Bowl and Tank - 2 Piece

Satisfactory Toilet Operation - Flushes, Drains, Refills

Satisfactory Half Bath Ventilation - Window

Satisfactory Half Bath Floor - Vinyl

Satisfactory Number of Half Baths - 1

BATHROOM

Satisfactory Bathroom Doors, Windows - Door Lock

Satisfactory Bathroom Electric Switches and Fixtures - Ceiling, Wall

Safety Concern Bathroom Receptacles - No Ground

Recommend adding GFCI outlets near water.

Service/Repair Bathroom Walls and Ceilings - Plaster, Tile

Damaged tiles noted

Satisfactory Bathroom Exhaust System - Window

Satisfactory Bathroom Heating Cooling - Central Sys

BATHROOM

| | |
|--------------|---|
| Satisfactory | Bathroom Sink Faucets - Individual |
| Satisfactory | Bathroom Sink Stopper - Push Pull |
| Satisfactory | Bathroom Sink Basin - Plastic |
| Satisfactory | Bathroom Sink Drain and Trap - Chrome, PVC |
| Satisfactory | Toilet Bowl and Tank - 2 Piece |
| Satisfactory | Toilet Operation - Flushes, Drains, Refills |
| Satisfactory | Bathtub Faucets - Individual |
| Satisfactory | Bathtub Stopper - Concealed |
| Satisfactory | Bath Showerhead - Standard |
| Satisfactory | Tub Wall Encl. - Ceramic, Plastic |
| Satisfactory | Bathroom Ventilation - Window |
| Satisfactory | Bathroom Floor - Ceramic |
| Satisfactory | Shower Stall Walls - Ceramic Tile |
| Satisfactory | Shower Drain - Floor Drain Stall |
| Satisfactory | Shower Faucets - Individual |
| Satisfactory | Number of Full Baths - 3 |

ATTIC

| | |
|-------------------------------------|---|
| Inspection Definition/Limitation | Attic Accessibility - Access restricted |
|-------------------------------------|---|

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

ATTIC

Satisfactory Attic Entry Access - Hatch

Satisfactory Attic Access Location - Hallway, Closet

Safety Concern Attic Structural Framing Type - Conventional

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Satisfactory Attic Structural Framing Spacing - 16 inches on Center

Satisfactory Attic Sheathing - Plywood, Board Sheathing

Satisfactory Attic Floor Insulation - Cellulose

Service/Repair Attic Insulation Thickness - 3 inches

Very little insulation installed and suggest adding more R-30 is suggested.

Satisfactory Attic Insulation Approx. R. Value - 11

Satisfactory Attic Ventilation - Gable End, Ridge, Soffit

Satisfactory Attic Wiring - Exposed

Satisfactory Attic Vent Pipes - Vented Outside

INTERIOR

Satisfactory Interior Ceilings - Plaster

Typical plaster/ drywall flaws noted.

Major Defect Interior Walls - Plaster

Typical plaster/ drywall flaws noted.

Some poorly finished areas were noted.

Some cracks and water damage were noted.

Water stains were noted, but were not currently wet at the time of inspection. Bulging plaster walls noted

Incomplete finish work was noted in most of the home. Some poorly finished areas were noted and all should be repaired.

Safety Concern Interior Fixtures - Not Properly Wired

Safety Concern Interior Switches - Tested

Missing switch plates were noted and should be installed.

Satisfactory Interior Heat Source - Tested

INTERIOR

Satisfactory Interior Rooms - Living Room, Family Room, Dining Room, Hallway Entry

Service/Repair Ceiling Fan - Tested

Ceiling fans should rotate clockwise in the winter time and counterclockwise in the summer.
The ceiling fan did not operate at time of inspection.

Inspection Definition/Limitation Interior Cabinets and Shelving - Heavy Storage

Access limited by heavy storage.

Major Defect Interior Floors - Wood

Some sloping areas noted and some damage noted and should be monitored.
The floor/subfloor is swollen.
The floor is uneven/not level.
Some stained and sloping areas were noted but are common in older homes.
Some cupping noted in floors indicate moisture below.

Inspection Definition/Limitation Interior Fire Place 1 - Masonry

The chimney is permanently sealed 2ND.

Safety Concern Stairways - With Hand Railings, Missing Hand Railings

There was no railing on the basement steps.
Loose railing noted on the main stairs.

Satisfactory Interior Outlets - Two Prong Ungrounded

Satisfactory Number of Bedrooms - 4

Inspection Definition/Limitation Interior Fire Place 2 - Masonry

The chimney has been permanently sealed.

Satisfactory Visible Flues and DMPs - Not Operated

Service/Repair Closets - Doors in Place, Doors Missing

Some doors are missing.

Monitor/Maintain Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied.

Service/Repair Windows - Operated

Condensation was noted between insulated window panes.

Satisfactory GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Definition/Limitati on

Inspection Description/limitation - Information

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.