



Reliable Home Inspection Service
100 Old Kennett Road
Wilmington, DE 19807
302/993-9100
reliablehomeinspections1@gmail.com
www.reliablehomeinspectionsservice.com

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Referral Information

[REDACTED]

FRONT VIEW

PHOTO



Inspection Summary

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Major Defect

EXTERIOR

EXTERIOR

All exterior wood should be evaluated, and repaired, due to wood rot



Major Defect

Masonry Walls

Corroded window lintel noted with cracking of brick.have wall /window evaluated, and repaired.
Some loose and missing mortar joints noted and should be repaired.



Major Defect

Trim Work

Some loose paint and wood rot noted.
All exterior wood products should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

GROUNDS

Steps

Cracks and some settlement noted. Evidence of motion was noted in the front steps and erosion was noted under the same. The structural condition of the entire porch should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.

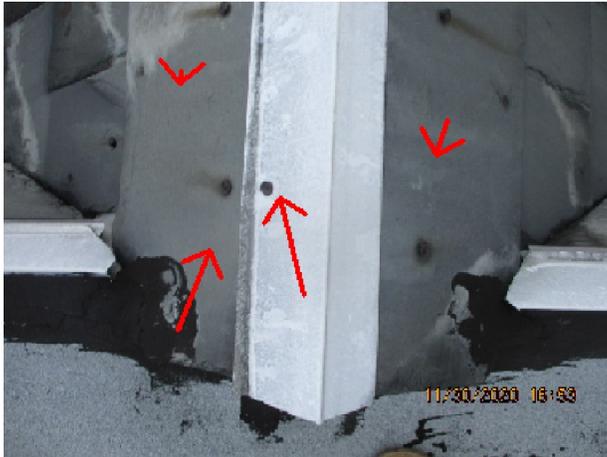


Major Defect

ROOF

ROOF

All nail heads should be sealed where exposed.
Some cracked shingles, staining, ponding noted.
Missing shingle tab noted.



Major Defect

Flashing

Asphalt patch used as flashings will require maintenance. Some loose, separated areas of flashings were noted and should be repaired. Leaking flashings should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

PLUMBING

Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.
Damaged cast piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made
Apparent leak in underground piping,, when utility sink runs, water collects, near rear door
Damaged piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made



Major Defect

KITCHEN

Dishwasher Approx. Age

Unit very old and extended life should not be expected.
The dishwasher was not operable on day of inspection, have
evaluated, and repaired.



Major Defect

INTERIOR

Interior Walls

Typical drywall flaws were noted.
Currently wet areas were noted , and the source of the water should be identified and repaired, rear bedroom at downspout.
Some poorly finished areas were noted.



Major Defect

Interior Ceilings

Typical drywall flaws were noted.
Poorly finished areas of drywall were and should be repaired.
Currently wet stains were noted and the source should be identified and repaired.



Major Defect

Windows

Some missing screens were noted.
Some cracked windows were noted.
Condensation was noted between multiple insulated window panes
all windows should be evaluated and all damaged glass replaced.



Safety Concern

GROUNDS

Hand Rail

Loose railing on front and should be repaired.



GARAGE

Garage Doors

Some dents in doors.
Missing safety guide wire on springs noted



ELECTRIC

Inspection Sticker

No panel sticker in main panel and should be inspected.

Safety Concern

Electrical Duplex Receptacles Primary Type

Limited number of outlets noted.
Three prong ungrounded outlet noted
Unpowered outlets noted,



Safety Concern

W. HEATER

Temp. Pressure Relief Valve and Pipe

Temperature and pressure valve extension should be extended to within 6" of floor.



LAUNDRY

Laundry Sink Drain Trap

Other =No trap installed for sink.traps prevent sewer gasses from entering home



BASEMENT

Basement Access

There was no hand rail noted in basement and one should be installed.



Safety Concern

Basement Foundation Walls Primary Visable type

Some cracks and water penetration.
Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



KITCHEN

Kitchen Wall Receptacles

Recommend adding GFCI outlets in areas near water.
The GFCI protection should be installed for all counter top receptacles.
The GFCI would not trip when tested and should be repaired or replaced.
A broken receptacle was noted and should be repaired.
Loose outlet noted.

Safety Concern

BATHROOM

BATHROOM

shower door is removed.
Damaged mirror noted.



Toilet Bowl and Tank

The toilet is loose at base in hall bath.
different lid noted

Safety Concern

INTERIOR

Interior Outlets

Three prong ungrounded outlets noted and should be repaired.
Unpowered outlets noted



Safety Concern

Stairways

Missing baluster noted
Loose railing noted on the main stairs.



Service/Repair

EXTERIOR

Exposed Foundation Primary Visible Type

Some cracks noted.



Soffit\Fascia

Other =
Other =Galvanized
Some loose paint noted and should be repaired.

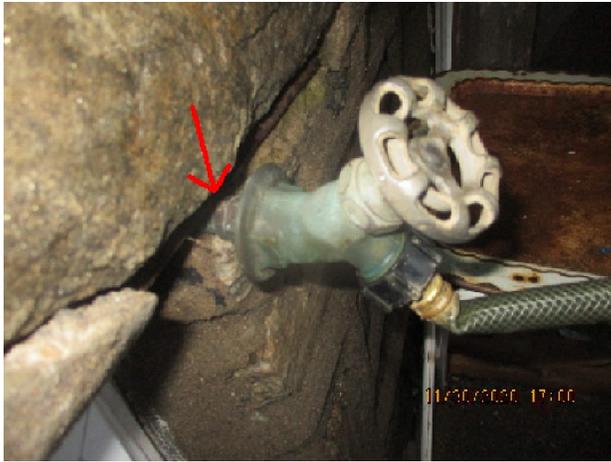
Windows Storm\Screen

Some damaged screens noted.
Some missing screens were noted.

Service/Repair

Caulking

Caulking should be improved.



Service/Repair

GROUNDS

Walks

Cracks and some settlement noted.



Service/Repair

Patio

Cracks and some damage noted and should be repaired.



Driveway/Parking Lot

Some cracks noted.

GUTTERS

Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

Often wood rot will be inside framing in this type of system and may not be visible and should be monitored for leakage.

Service/Repair

ROOF

Roof Covering Primary Type

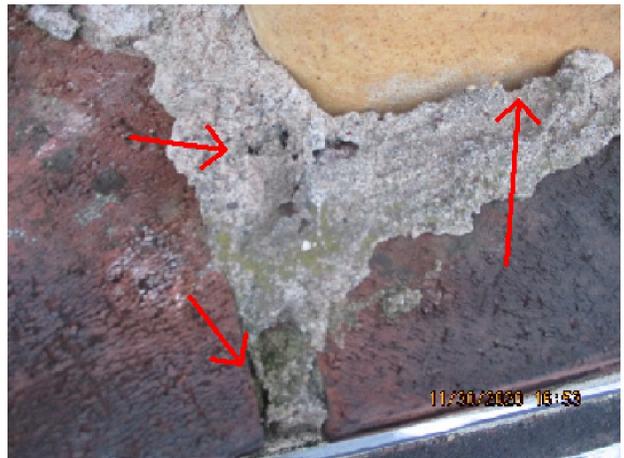
Nail heads should be sealed where exposed.
A few cracked shingles were noted and should be repaired.
A missing shingle tab was noted and should be repaired.
On flat or low pitch roofs, ponding water created by sags or clogged drains, develop roof leaks.



CHIMNEY

Chimney Top

Some cracks noted in chimney top.



Service/Repair

COOLING

Cooling System Coils and Fins

Damaged fins noted.
Some rust was noted on casings.
The fins are damaged and should be repaired, damaged fins reduce air flow.



Service/Repair

Cooling Lines

The insulation should be improved.



PLUMBING

Interior Water Pipes Primarey Visible Type

Some minor leaks were noted at valves and should be repaired.
Some corrosion leaks were noted at valves,,pipes, and should be repaired.



Service/Repair

KITCHEN

Kitchen Cabinets

Some loose hardware was noted.



BATHROOM

Bathroom Sink Basin

Some complete cracking around drain, and basin.



Toilet Operation

mismatched, lid on toilet noted



Service/Repair

INTERIOR

Interior Cabinets and Shelving

Access limited by heavy storage.
Missing/ damaged hardware noted

Skylight

Evidence of past leakage was noted.
Operation should be demonstrated before settlement.



Monitor/Maintain

EXTERIOR

Grading

Soil should be sloped away from house to improve drainage.

COOLING

Cooling System 1 Approx. Age

Unit very old and extended life should not be expected.

Monitor/Maintain

PLUMBING

Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.



INTERIOR

Smoke Detectors

Smoke detectors should be checked on the day home is occupied.

Inspection Definition/Limitation

GUTTERS

Runoff Drains

Location and condition of underground drains unknown.



Inspection Definition/Limitation

CHIMNEY

Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.



COOLING

Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

FURNACE

Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

BASEMENT

Basement Insulation Visible Primary Type

Insulation limits inspection.



Basement Wall Finish

Inspection limited by finished areas.

KITCHEN

Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

Inspection Definition/Limitation

HALF BATH

HALF BATH

basement toilet, sink not working at the time of inspection



INTERIOR

Interior Cooling Source

The outside temperature was too low to safely test Cooling Mode.

Inspection Definition/Limitation

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Report Details

EXTERIOR

Major Defect EXTERIOR - General Comment

All exterior wood should be evaluated, and repaired, due to wood rot

Satisfactory Outside Outlets - None

Satisfactory Type of Building - Stone Veneer, Brick Veneer, Masonry

Service/Repair Exposed Foundation Primary Visible Type - Poured Concrete, Stone

Some cracks noted.

Service/Repair Soffit\Fascia - Aluminum, Other

Other =
Other =Galvanized
Some loose paint noted and should be repaired.

Monitor/Maintain Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Major Defect Masonry Walls - Brick, Stone

Corroded window lintel noted with cracking of brick.have wall /window evaluated, and repaired.
Some loose and missing mortar joints noted and should be repaired.

Major Defect Trim Work - Wood

Some loose paint and wood rot noted.
All exterior wood products should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory Entry Doors - Metal

Satisfactory Storm Doors - Aluminum

Satisfactory Window Character Material - Vinyl

Satisfactory Window Character Type - Double Hung

Satisfactory Additional Windows - Mixed Windows

Satisfactory Glass - Insulated

Service/Repair Windows Storm\Screen - MFG Screens

Some damaged screens noted.
Some missing screens were noted.

Satisfactory Weather Stripping - Rubber\Vinyl

EXTERIOR

Service/Repair Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GROUNDS

Service/Repair Walks - Concrete

Cracks and some settlement noted.

Major Defect Steps - Concrete

Cracks and some settlement noted.

Evidence of motion was noted in the front steps and erosion was noted under the same. The structural condition of the entire porch should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.

Service/Repair Patio - Concrete

Cracks and some damage noted and should be repaired.

Service/Repair Driveway/Parking Lot - Concrete

Some cracks noted.

Safety Concern Hand Rail - Steel

Loose railing on front and should be repaired.

GUTTERS

Satisfactory Inspected From - Roof

Satisfactory Access Restricted - Not Restricted

Service/Repair Gutter Type - Aluminum, Built-in

Gutters should be cleaned regularly to prevent rot and roof damage.

Often wood rot will be inside framing in this type of system and may not be visible and should be monitored for leakage.

Satisfactory Downspout Type - Aluminum

Satisfactory Sealed Downspouts - All

Inspection Definition/Limitation Runoff Drains - Cast Iron

Location and condition of underground drains unknown.

Satisfactory Splash Blocks - None

ROOF

Major Defect ROOF - General Comment

All nail heads should be sealed where exposed.
Some cracked shingles, staining, ponding noted.
Missing shingle tab noted.

ROOF

Satisfactory How Inspected - Walk on Roof

Satisfactory Roof Access Restricted - Not Restricted

Satisfactory Roof Style - Flat

Service/Repair Roof Covering Primary Type - Rolled Mineral

Nail heads should be sealed where exposed.
 A few cracked shingles were noted and should be repaired.
 A missing shingle tab was noted and should be repaired.
 On flat or low pitch roofs, ponding water created by sags or clogged drains, develop roof leaks.

Satisfactory Approx. Age - 10 thru 15

Satisfactory Number of Layers - Unknown

Satisfactory Roof Ventilation System - Soffit

Major Defect Flashing - Aluminum, Asphalt

Asphalt patch used as flashings will require maintenance.
 Some loose, separated areas of flashings were noted and should be repaired.
 Leaking flashings should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory Plumbing Vents - Cast Iron

Satisfactory Skylight - Steel and Glass

CHIMNEY

Satisfactory Chimney Inspected From - Roof

Inspection Definition/Limitation Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Satisfactory Chimney 1 Type - Brick

Satisfactory Chimney 1 Location - Main

Satisfactory Flue Lining - Clay Tile

Service/Repair Chimney Top - Cement

Some cracks noted in chimney top.

CHIMNEY

Satisfactory Chimney Cap - Rain

COOLING

Satisfactory Cooling System 1 Brand - Lennox

Satisfactory Cooling System 1 Tonnage - 2.5 Ton

Monitor/Maintain Cooling System 1 Approx. Age - 15 plus

Unit very old and extended life should not be expected.

Service/Repair Cooling System Coils and Fins - Damaged

Damaged fins noted.

Some rust was noted on casings.

The fins are damaged and should be repaired, damaged fins reduce air flow.

Satisfactory Cooling System Electrical - Ext. Disconnect

Service/Repair Cooling Lines - Insulation

The insulation should be improved.

Satisfactory Condensate Drain - Plastic

Inspection Definition/Limitation Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

GARAGE

Satisfactory Garage Type - 1 Car Attached

Satisfactory Garage Exterior Walls - Same as House

Satisfactory Auto Garage Door Lift Controls - Manual

Satisfactory Garage Interior Walls - Drywall\Plaster

Satisfactory Garage Interior Ceiling - Drywall\Plaster

Satisfactory Garage Floor - Concrete

GARAGE

Safety Concern Garage Doors - Overhead, Metal\Aluminum

Some dents in doors.
Missing safety guide wire on springs noted

ELECTRIC

Satisfactory Main Electrical Service - Attached To House

Satisfactory Main Electrical Service Wire - Aluminum

Satisfactory Overhead Clearance - 16 Feet

Satisfactory Voltage Available - 110 / 220

Satisfactory Main Electrical Distribution Panel Accessibility - Typical

Satisfactory Main Electrical Distribution Panel Location - Basement

Satisfactory Main Electrical Disconnect - Breaker

Satisfactory Main Panel - 100

Satisfactory Interior Wiring Visible Primarey Type - Copper

Satisfactory Type of Wire Visable Primary Type - Romex, Conduit, BX Cable

Satisfactory Grounding - Water Pipe

Satisfactory Breakers in Use - 100 percent

Safety Concern Inspection Sticker - Main Panel

No panel sticker in main panel and should be inspected.

Satisfactory Electrical Defaults - Main Panel

Safety Concern Electrical Duplex Receptacles Primary Type - 2 Slotted , 3 Slotted

Limited number of outlets noted.
Three prong ungrounded outlet noted
Unpowered outlets noted,

PLUMBING

Satisfactory Water Source - Municipal

Satisfactory Municipal Main Supply Size - 3/4

Satisfactory Municipal Main Supply Type - Copper

Satisfactory Main Water Shut Off - Basement

Satisfactory Main Gas Valve - Basement

Service/Repair Interior Water Pipes Primary Visible Type - Copper, PEX

Some minor leaks were noted at valves and should be repaired.
Some corrosion leaks were noted at valves,,pipes, and should be repaired.

Satisfactory Waste System - Municipal

Major Defect Interior Waste/Vent Pipes Primary Visible Type - PVC

Most piping concealed supply and drain.
Damaged cast piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made
Apparent leak in underground piping,, when utility sink runs, water collects, near rear door
Damaged piping with evidence of leakage and the entire plumbing system should be evaluated and all needed repairs made

Satisfactory Number of Outside Spigots - 1

Monitor/Maintain Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

W. HEATER

Satisfactory Water Heater 1 Mfg. - GE

Satisfactory Water Heater 1 Approx. Age - 8

Satisfactory Water Heater 1 Size - 40

Satisfactory Water Heater Fuel - Electric

Satisfactory Water Heater Cold Water Valve - Present

Safety Concern Temp. Pressure Relief Valve and Pipe - Present

Temperature and pressure valve extension should be extended to within 6" of floor.

W. HEATER

Satisfactory Water Heater Exterior Jacket - OK

LAUNDRY

Satisfactory Laundry Sink - Plastic

Satisfactory Laundry Sink Faucets - Tested

Safety Concern Laundry Sink Drain Trap - PVC

Other =No trap installed for sink.traps prevent sewer gasses from entering home

Satisfactory Laundry Water Faucets - Gate Type

Satisfactory Washer Drains - Laundry Sink

Satisfactory Dryer Vented - Wall

Satisfactory Laundry Energy Source - Gas

FURNACE

Satisfactory Forced Air System 1 Mfg. - Goodman Man.

Satisfactory Forced Air System 1 BTU Per Hour - 75,000+

Satisfactory Forced Air System 1 Approx. Age - 9

Satisfactory Forced Air System Energy Source - Gas

Satisfactory Hot Air System - Direct Drive

Satisfactory Heat Exchanger Flame Pattern - Pass

Inspection Definition/Limitation Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Satisfactory Distribution System Type - Up Flow

FURNACE

Satisfactory Distribution System Material - Metal Duct, Insul. Flex Duct

Satisfactory Thermostat - Programmable

Satisfactory Flue Piping - Single Walled

Satisfactory Filter System - Disposable

BASEMENT

Satisfactory Basement Type - Full Percent

Safety Concern Basement Access - Interior Stairs

There was no hand rail noted in basement and one should be installed.

Safety Concern Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration.

Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Satisfactory Basement Floor - Cement, Tile on slab

Satisfactory Basement Bridging - Wood

Satisfactory Basement Structural Columns Visible Primary Type - Steel, Bearing Wall

Satisfactory Basement Ceiling Sub Floor Visible Primary Type - Sheathing BD.

Satisfactory Basement Ceiling Joist Visible Primary Type - Conventional

Inspection Definition/Limitation Basement Insulation Visible Primary Type - Between Joist

Insulation limits inspection.

Inspection Definition/Limitation Basement Wall Finish - Partially Finished

Inspection limited by finished areas.

Satisfactory Basement Drainage - None

KITCHEN

Satisfactory Kitchen Walls - Drywall, Tile

Satisfactory Kitchen Ceiling - Drywall

Satisfactory Kitchen Floors - Ceramic Tile

Satisfactory Kitchen Heating Source - Central

Satisfactory Kitchen Cooling Source - Central

Satisfactory Kitchen Doors Windows - Tested

Service/Repair Kitchen Cabinets - Custom Wood

Some loose hardware was noted.

Satisfactory Kitchen Sink - Stainless

Satisfactory Kitchen Sink Faucet - Single Lever

Satisfactory Kitchen Drain and Trap - Brass Nickel

Major Defect Dishwasher Approx. Age - 15 or older

Unit very old and extended life should not be expected.

The dishwasher was not operable on day of inspection, have evaluated, and repaired.

Satisfactory Dishwasher Mfg. - Whirlpool

Satisfactory Exhaust Fan Hood - Hood Ductless

Inspection Definition/Limitation Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested.

Satisfactory Surface Cooktop - Gas

Safety Concern Kitchen Wall Receptacles - Grounded, GFI Protected

Recommend adding GFCI outlets in areas near water.

The GFCI protection should be installed for all counter top receptacles.

The GFCI would not trip when tested and should be repaired or replaced.

A broken receptacle was noted and should be repaired.

Loose outlet noted.

Satisfactory Kitchen Switches Fixtures - Recessed

HALF BATH

Inspection Definition/Limitation

HALF BATH - General Comment

basement toilet, sink not working at the time of inspection

BATHROOM

Safety Concern

BATHROOM - General Comment

shower door is removed.
Damaged mirror noted.

Satisfactory

Bathroom Doors, Windows - Door Lock

Satisfactory

Bathroom Electric Switches and Fixtures - Wall

Satisfactory

Bathroom Receptacles - None

Satisfactory

Bathroom Walls and Ceilings - Tile, Drywall

Satisfactory

Bathroom Exhaust System - Window

Satisfactory

Bathroom Heating Cooling - Central Sys

Satisfactory

Bathroom Sink Faucets - Individual

Satisfactory

Bathroom Sink Stopper - Push Pull

Service/Repair

Bathroom Sink Basin - Plastic

Some complete cracking around drain, and basin.

Satisfactory

Bathroom Sink Drain and Trap - Chrome

Safety Concern

Toilet Bowl and Tank - 2 Piece

The toilet is loose at base in hall bath.
different lid noted

Service/Repair

Toilet Operation - Flushes, Drains, Refills

mismatched, lid on toilet noted

Satisfactory

Bathroom Ventilation - Window

Satisfactory

Bathroom Floor - Ceramic

Satisfactory

Shower Stall Walls - Ceramic Tile

BATHROOM

Satisfactory Shower Drain - Floor Drain Stall

Satisfactory Shower Faucets - Single Lever

Satisfactory Number of Full Baths - 1

INTERIOR

Service/Repair Interior Cabinets and Shelving - Heavy Storage

Access limited by heavy storage.
Missing/ damaged hardware noted

Safety Concern Interior Outlets - Two Prong Ungrounded, Three Prong Ungrounded

Three prong ungrounded outlets noted and should be repaired.
Unpowered outlets noted

Satisfactory Interior Rooms - Living Room, Family Room, Dining Room, Hallway Entry

Satisfactory Number of Bedrooms - 3

Major Defect Interior Walls - Dry Wall

Typical drywall flaws were noted.
Currently wet areas were noted , and the source of the water should be identified and repaired, rear bedroom at downspout.
Some poorly finished areas were noted.

Major Defect Interior Ceilings - Dry Wall

Typical drywall flaws were noted.
Poorly finished areas of drywall were and should be repaired.
Currently wet stains were noted and the source should be identified and repaired.

Satisfactory Interior Floors - Wood, Carpet, Tile

Satisfactory Interior Fixtures - Properly Wired

Inspection Definition/Limitation Interior Cooling Source - Not Tested

The outside temperature was to low to safely test Cooling Mode.

Satisfactory Closets - Doors in Place

Monitor/Maintain Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied.

Safety Concern Stairways - With Hand Railings

Missing baluster noted
Loose railing noted on the main stairs.

INTERIOR

Satisfactory Ceiling Fan - Tested

Service/Repair Skylight - Evidence of Leakage

Evidence of past leakage was noted.
Operation should be demonstrated before settlement.

Satisfactory Interior Switches - Tested

Satisfactory Interior Heat Source - Tested

Major Defect Windows - Operated

Some missing screens were noted.
Some cracked windows were noted.
Condensation was noted between multiple insulated window panes all windows should be evaluated and all damaged glass replaced.

Satisfactory GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Definition/Limitation

Inspection Description/limitation - Information

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

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Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.