



Reliable Home Inspection Service
100 Old Kennett Rd
Wilmington, DE 19807
302-993-9100
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By:
Tim Mogelesky H5-0010111 ASHI #268860

Referral Information:

Client Information: [REDACTED]
HABITAT FOR HUMANITY

Inspected [REDACTED]

FRONT VIEW



Inspection Summary

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Major Defect

GROUNDINGS

0203: Walks

Cracks and some settlement noted.
Some damaged and uneven steps and boards were noted.
Rear steps are rotted and deteriorated and should be evaluated by a qualified contractor and all needed repairs be made



Major Defect



COOLING

0709: Condensate Drain

Clogged and active leak from condensate drain in crawlspace was noted and should be evaluated and repaired.



Safety Concern

GROUNDS

0208: Driveway/Parking Lot

Some cracks noted.

Uneven areas may present a tripping hazard and should be repaired to prevent injury.



EXTERIOR

0302: Outside Outlets

Damaged or missing water proof covers were noted and should be repaired or replaced.



Safety Concern



ELECTRIC

0919: Electrical Defaults

Some missing outlet and switch covers were noted and should be replaced.



Safety Concern

CRAWL SPACE

1613: Crawl Space Floor Type

Clogged/current leak from condensate drain was noted and should be cleaned and any damage repaired. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Safety Concern

KITCHEN

1708: Kitchen Cabinets

Some water damage under sink was noted but was dry at time of the inspection.

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



BATHROOM

1905: Bathroom Walls and Ceilings

Some damage noted above tub/shower and vanity.

Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Safety Concern



ATTIC

2005: Attic Structural Framing Type

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Safety Concern

INTERIOR

2117: Smoke Detectors

Missing or too few noted. Smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.



Safety Concern

INTERIOR

2119: Stairways

Loose railing was noted and should be repaired.



Service/Repair

EXTERIOR

0307: Grading

Soil should be sloped away from house to improve drainage.



Service/Repair

EXTERIOR

0309: Masonry Walls

Cracks between brick veneer and stairs were noted and should be repaired.
Damaged/missing brick was noted and should be replaced.



Service/Repair

EXTERIOR

0310: Trim Work

Some loose paint and wood rot noted.



EXTERIOR

0312: Storm Doors

Damaged storm door and frame were noted and should be repaired/replaced.



Service/Repair



EXTERIOR

0318: Windows Storm\Screen

Some damaged and missing screens were noted.



Service/Repair

EXTERIOR

0320: Caulking

Caulking should be improved.



Service/Repair

GUTTERS

0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.
Some debris and standing water was noted and should be cleared for proper drainage.



ROOF

0505: Roof Covering Primary Type

Roof is showing wear.
Some scuffing and aggregate loss noted and should be monitored.
Soft and sagging area was noted around pipe boot and should be evaluated and repaired.
A few cracked shingles were noted and should be repaired.



Service/Repair



LAUNDRY

1208: Dryer Vented

Missing exterior vent cover was noted and should be replaced.



Service/Repair

CRAWL SPACE

1604: Crawl Space Foundation Walls

Some cracks and water penetration noted.
Hole at bottom of shared wall was noted and should be repaired.



Service/Repair

KITCHEN

1703: Kitchen Ceiling

Some damage above range was noted and should be repaired.



1711: Kitchen Sink 3rd Faucet

Sprayer did not work at time of the inspection and should be repaired.

KITCHEN

1719: Surface Cooktop

Front left, middle and rear right burners did not work at time of the inspection and should be repaired.



Service/Repair

ATTIC

2007: Attic Sheathing

Sagging piece of sheathing was noted and should be repaired.



INTERIOR

2106: Interior Floors

Some lifted and damaged flooring was noted. Some squeaky floors were noted. When the carpet is replaced, secure floor sheathing to joist/trusses with wood screws. This is not typically a structural concern.



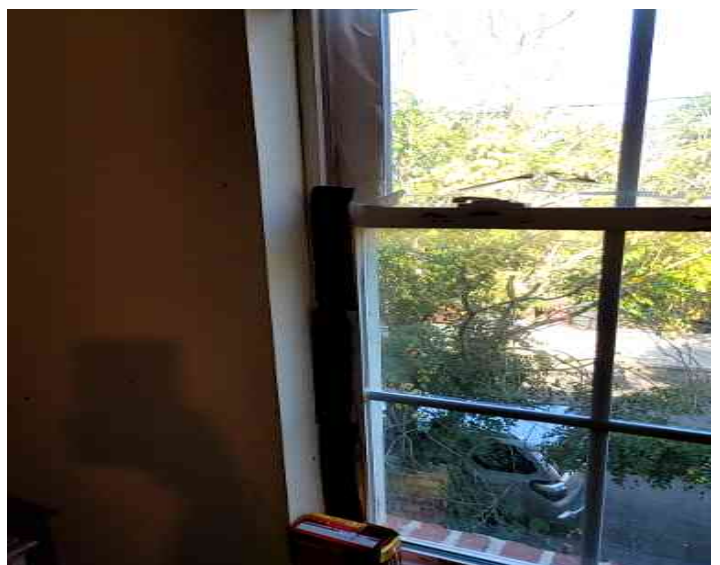
Service/Repair



INTERIOR

2122: Windows

Some damaged windows were noted and should be evaluated and repaired.



Monitor/Maintain

GROUNDS

0202: Rear View of Home

Rear view.



0204: Steps

Cracks and some settlement noted.

0206: Porches

Some loose paint and rot noted.

0304: Exposed Foundation Primary Visible Type

Some cracks noted.

0708: Cooling Lines

The insulation should be improved.

1105: Water Heater 1 Approx. Age

Unit old and extended life should not be expected.

2104: Interior Walls

Typical drywall flaws were noted.

2105: Interior Ceilings

Typical drywall flaws were noted.

Inspection Definition/Limitation

GUTTERS

0407: Runoff Drains

Location and condition of underground drains unknown.

Inspection Definition/Limitation

0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

1201: LAUNDRY

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

1605: Crawl Space Bridging

Other = concealed.

1610: Crawl Space Insulation

Insulation limits inspection.

1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2101: INTERIOR ROOMS

Inspection limited by stored items.

Inspection Definition/Limitation

2201: Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

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Inspection Report Details

GROUNDS

Monitor/Maintain 0202: Rear Veiw of Home - Photo Rear

Rear view.

Major Defect 0203: Walks - Concrete

Cracks and some settlement noted. Some damaged and uneven steps and boards were noted. Rear steps are rotted and deteriorated and should be evaluated by a qualified contractor and all needed repairs be made

Monitor/Maintain 0204: Steps - Concrete, Wood

Cracks and some settlement noted.

Monitor/Maintain 0206: Porches - Wood and Concrete

Some loose paint and rot noted.

Safety Concern 0208: Driveway/Parking Lot - Asphalt

Some cracks noted. Uneven areas may present a tripping hazard and should be repaired to prevent injury.

Satisfactory 0210: Hand Rail - Steel

EXTERIOR

Safety Concern 0302: Outside Outlets - Tested

Damaged or missing water proof covers were noted and should be repaired or replaced.

Satisfactory 0303: Type of Building - Frame, 2 Story

Monitor/Maintain 0304: Exposed Foundation Primary Visable Type - Poured Concrete

Some cracks noted.

Satisfactory 0306: Soffit\Fascia - Aluminum, Vinyl

Service/Repair 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Satisfactory 0308: Siding - Vinyl

Service/Repair 0309: Masonry Walls - Brick

EXTERIOR

Cracks between brick veneer and stairs were noted and should be repaired. Damaged/missing brick was noted and should be replaced.

Service/Repair 0310: Trim Work - Aluminum, Vinyl, Wood

Some loose paint and wood rot noted.

0311: Entry Doors - Metal

Service/Repair 0312: Storm Doors - Vinyl

Damaged storm door and frame were noted and should be repaired/replaced.

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung

0316: Additional Windows - Mixed Windows

0317: Glass - Insulated

Service/Repair 0318: Windows Storm\Screen - MFG Screens

Some damaged and missing screens were noted.

0319: Weather Stripping - Rubber\Vinyl

Service/Repair 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GUTTERS

0402: Inspected From - Ground, Roof, Ladder

Service/Repair 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage. Some debris and standing water was noted and should be cleared for proper drainage.

0405: Downspout Type - Aluminum

0406: Sealed Downspouts - All

**Inspection
Definition/Limitation** 0407: Runoff Drains - PVC

Location and condition of underground drains unknown.

GUTTERS

ROOF

Satisfactory	0502: How Inspected - Walk on Roof
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Satisfactory	0503: Roof Access Restricted - Not Restricted
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Satisfactory	0504: Roof Style - Gable
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Service/Repair	0505: Roof Covering Primary Type - Fiberglass asphalt shingle
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Roof is showing wear. Some scuffing and aggregate loss noted and should be monitored. Soft and sagging area was noted around pipe boot and should be evaluated and repaired. A few cracked shingles were noted and should be repaired.

Satisfactory	0506: Approx. Age - 15 thru 20
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Satisfactory	0507: Number of Layers - 1
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Satisfactory	0508: Roof Ventilation System - Ridge, Soffit
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Satisfactory	0509: Flashing - Aluminum
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Satisfactory	0511: Plumbing Vents - PVC
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CHIMNEY

Satisfactory	0602: Chimney Inspected From - Roof
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Inspection Definition/Limitation	0603: Access Restricted - Cap Installed
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Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Satisfactory	0604: Chimney 1 Type - Metal
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Satisfactory	0605: Chimney 1 Location - Main
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Satisfactory	0608: Flue Lining - Metal
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Satisfactory	0609: Chimney Top - Metal
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Satisfactory	0610: Chimney Cap - Rain
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COOLING

Satisfactory	0702: Cooling System 1 Brand - Ducane
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Satisfactory	0703: Cooling System 1 Tonnage - 2 Ton
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COOLING

- Satisfactory 0704: Cooling System 1 Approx. Age - 15
- Satisfactory 0706: Cooling System Coils and Fins - Clean
- Satisfactory 0707: Cooling System Electrical - Ext. Disconnect
- Monitor/Maintain 0708: Cooling Lines - Insulation

The insulation should be improved.

- Major Defect 0709: Condensate Drain - Plastic

Clogged and active leak from condensate drain in crawlspace was noted and should be evaluated and repaired.

- Satisfactory 0711: Differential Temp 1 - Details

Return temp = 69 Supply temp = 51 Differential Temp = 18

ELECTRIC

- Satisfactory 0902: Main Electrical Service - Underground Lateral Cable
- Satisfactory 0903: Main Electrical Service Wire - Aluminum
- Satisfactory 0905: Voltage Available - 110 / 220
- Satisfactory 0906: Main Electrical Distribution Panel Accessibility - Typical
- Satisfactory 0907: Main Electrical Distribution Panel Location - Utility Room
- Satisfactory 0908: Main Electrical Disconnect - Breaker
- Satisfactory 0909: Main Panel - 150
- Satisfactory 0911: Interior Wiring Visible Primary Type - Copper 90 percent
- Satisfactory 0912: Type of Wire Visible Primary Type - Romex
- Satisfactory 0913: Grounding - Driven Rod
- Satisfactory 0914: Breakers in Use - Room for Expansion
- Satisfactory 0917: Inspection Sticker - Main Panel
- Satisfactory 0918: Panel Schedule Filled in - Filled Out
- Safety Concern 0919: Electrical Defaults - Main Panel

ELECTRIC

Some missing outlet and switch covers were noted and should be replaced.

0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

1002: Water Source - Municipal

1003: Municipal Main Supply Size - 3/4

1004: Municipal Main Supply Type - Plastic

1005: Main Water Shut Off - Crawl Space

1006: Main Gas Valve - Outside

1007: Interior Water Pipes Primary Visible Type - CPVC

1008: Waste System - Municipal

1009: Interior Waste/Vent Pipes Primary Visible Type - PVC

Most piping concealed supply and drain.

1010: Number of Outside Spigots - 2

1011: Type of Outside Spigots - Frost Free

W. HEATER

1103: Water Heater 1 Mfg. - Bradford White

1104: Water Heater 1 Rated BTU Per Hour - 40,000 +

1105: Water Heater 1 Approx. Age - 15 plus

Unit old and extended life should not be expected.

1106: Water Heater 1 Size - 40

1107: Water Heater Fuel - Gas

1108: Water Heater Flue Pipe - Single Wall

1109: Water Heater Gas Piping - Valve On Off

1110: Water Heater Cold Water Valve - Present

W. HEATER

1111: Temp. Pressure Relief Valve and Pipe - Present

1113: Water Heater Exterior Jacket - OK

LAUNDRY

**Inspection
Definition/Limitation** 1201: LAUNDRY - General Comment

Washers and dryers are not in the scope of the home inspection and the operation of these appliances are not tested.

1207: Washer Drains - Trapped Line

Service/Repair 1208: Dryer Vented - Wall

Missing exterior vent cover was noted and should be replaced.

1209: Laundry Energy Source - 220 Electric

FURNACE

1302: Forced Air System 1 Mfg. - Ducane

1303: Forced Air System 1 BTU Per Hour - 45,000 +

1304: Forced Air System 1 Approx. Age - 15 plus

1305: Forced Air System Energy Source - Gas

1306: Hot Air System - Direct Drive

1307: Heat Exchanger Flame Pattern - Pass

**Inspection
Definition/Limitation** 1308: Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

1310: Distribution System Type - Up Flow

1311: Distribution System Material - Metal Duct

1312: Thermostat - Programmable

1313: Flue Piping - Single Walled

1317: Filter System - Disposable

FURNACE

CRAWL SPACE

Satisfactory 1602: Crawl Space Type - Full

Satisfactory 1603: Crawl Space Access - Interior Hatch

Service/Repair 1604: Crawl Space Foundation Walls - Poured

Some cracks and water penetration noted. Hole at bottom of shared wall was noted and should be repaired.

Inspection
Definition/Limitation 1605: Crawl Space Bridging - Other

Other = concealed.

Satisfactory 1606: Crawl Space Structural Columns - Bearing Wall

Satisfactory 1607: Crawl Space Structural Beams - Wood

Satisfactory 1608: Crawl Space Ceiling Sub Floor - Particle BD

Satisfactory 1609: Crawl Space Ceiling Joist - Truss

Inspection
Definition/Limitation 1610: Crawl Space Insulation - Between Joist

Insulation limits inspection.

Satisfactory 1611: Crawl Space Ventilation - Wall Vents

Safety Concern 1613: Crawl Space Floor Type - Concrete

Clogged/current leak from condensate drain was noted and should be cleaned and any damage repaired. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

KITCHEN

Satisfactory 1702: Kitchen Walls - Drywall

Service/Repair 1703: Kitchen Ceiling - Drywall

Some damage above range was noted and should be repaired.

Satisfactory 1704: Kitchen Floors - Vinyl

Satisfactory 1705: Kitchen Heating Source - Central

KITCHEN

Satisfactory 1706: Kitchen Cooling Source - Central

Safety Concern 1708: Kitchen Cabinets - Laminate

Some water damage under sink was noted but was dry at time of the inspection. Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Satisfactory 1709: Kitchen Sink - Stainless

Satisfactory 1710: Kitchen Sink Faucet - Single Lever

Service/Repair 1711: Kitchen Sink 3rd Faucet - Sprayer

Sprayer did not work at time of the inspection and should be repaired.

Satisfactory 1712: Kitchen Drain and Trap - PVC

Satisfactory 1713: Garbage Disposal - None

Satisfactory 1717: Exhaust Fan Hood - Hood Ductless

Inspection
Definition/Limitation 1718: Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested.

Service/Repair 1719: Surface Cooktop - Gas

Front left, middle and rear right burners did not work at time of the inspection and should be repaired.

Satisfactory 1720: Kitchen Wall Receptacles - GFI Protected

Satisfactory 1721: Kitchen Switches Fixtures - Fixed

BATHROOM

Satisfactory 1902: Bathroom Doors, Windows - Door/ Lock

Satisfactory 1903: Bathroom Electric Switches and Fixtures - Wall

Satisfactory 1904: Bathroom Receptacles - GFCI

Safety Concern 1905: Bathroom Walls and Ceilings - Drywall

BATHROOM

Some damage noted above tub/shower and vanity. Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Satisfactory 1906: Bathroom Exhaust System - Elec. Fan Outdoors

Satisfactory 1907: Bathroom Heating Cooling - Central Sys

Satisfactory 1908: Bathroom Sink Faucets - Individual

Satisfactory 1909: Bathroom Sink Stopper - Lever

Satisfactory 1910: Bathroom Sink Basin - Cast Marble

Satisfactory 1911: Bathroom Sink Drain and Trap - PVC

Satisfactory 1912: Toilet Bowl and Tank - 2 Piece

Satisfactory 1913: Toilet Operation - Flushes, Drains, Refills

Satisfactory 1914: Bathtub Faucets - Single Lever

Satisfactory 1915: Bathtub Stopper - Concealed

Satisfactory 1916: Bath Showerhead - Standard

Satisfactory 1917: Seal Around Tub - 1 Piece Shower Tub

Satisfactory 1918: Tub Wall Encl. - Fiberglass

Satisfactory 1919: Bathroom Ventilation - Fan

Satisfactory 1920: Bathroom Floor - Vinyl

Satisfactory 1922: Shower Drain - Tub

Satisfactory 1923: Shower Faucets - Tub

Satisfactory 1924: Number of Full Baths - 1

ATTIC

Inspection
Definition/Limitation 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

ATTIC

Satisfactory 2003: Attic Entry Access - Pull Down Steps

Satisfactory 2004: Attic Access Location - Hallway

Safety Concern 2005: Attic Structural Framing Type - Trusses

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Satisfactory 2006: Attic Structural Framing Spacing - 24 inches on Center

Service/Repair 2007: Attic Sheathing - Plywood

Sagging piece of sheathing was noted and should be repaired.

Satisfactory 2008: Attic Floor Insulation - Fiberglass, Batt

Satisfactory 2009: Attic Insulation Thickness - 10 inches

Satisfactory 2010: Attic Insulation Approx. R. Value - 30

Satisfactory 2011: Attic Ventilation - Ridge, Soffit

Satisfactory 2012: Attic Wiring - Covered with Insulation, Exposed

Satisfactory 2013: Attic Vent Pipes - Vented Outside

Satisfactory 2015: Attic Chimney Flues - Metal

INTERIOR

Inspection
Definition/Limitation 2101: INTERIOR ROOMS - General Comment

Inspection limited by stored items.

Satisfactory 2102: Interior - Living Room, Dining Room, Family Room

Satisfactory 2103: Number of Bedrooms - 3

Monitor/Maintain 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted.

Monitor/Maintain 2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted.

INTERIOR

Service/Repair 2106: Interior Floors - Vinyl, Carpet

Some lifted and damaged flooring was noted. Some squeaky floors were noted. When the carpet is replaced, secure floor sheathing to joist/trusses with wood screws. This is not typically a structural concern.

2107: Interior Switches - Sample Number Test

2109: Interior Outlets - Three Prong Grounded

2110: Interior Heat Source - Tested

2111: Interior Cooling Source - Tested

2112: Interior Cabinets and Shelving - Accessible

2116: Closets/ Interior Doors - Doors in Place

Safety Concern 2117: Smoke Detectors - Too Few

Missing or too few noted. Smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

Safety Concern 2119: Stairways - With Hand Railings

Loose railing was noted and should be repaired.

2120: Ceiling Fan - Tested

Service/Repair 2122: Windows - Operated

Some damaged windows were noted and should be evaluated and repaired.

2123: GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.