



Reliable Home Inspection Service
100 Old Kennett Road
Wilmington, Delaware 19807
877-993-9100
www.reliablehomeinspectionsservice.com

[REDACTED]

Inspected By:

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Referral Information:

[REDACTED]

FRONT VIEW

PHOTO



Inspection Summary

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Major Defect

EXTERIOR

1: Soffit\Fascia

Some loose paint and wood rot noted. Carpenter bee and Bird damage noted and all exterior wood products should be evaluated and all needed repairs made. Poorly sealed area where soffit and fascia meet chimney and should be repaired



Major Defect

EXTERIOR

2: Siding

Carpenter bee and bird damage noted and some repairs all exterior walls should be evaluated in only repairs made and treatments Poorly installed Windows noted not flashed properly no top flashing All should be evaluated and repaired



Major Defect

GROUNDS

3: Decks

Deck has leaning posts/peirs and is not bolted to the house and should be evaluated and repaired Both legs do to not rest on properly posts and should be evaluated and repaired. Missing railings noted at newer deck and should be installed. Stain and some rot noted. All decks should be evaulated and repaired. beam does not fully rest on posts.



Poorly connected framing noted at deck

Major Defect



Rot at front deck should be repaired.

Major Defect

GROUNDS

4: Retaining Wall

Cracked, loose and damaged areas of all some staining indicates water penetration and no weep holes noted and should be evaluated and repaired



Major Defect

ROOF

5: ROOF

Large sag and improper cap shingles noted on shed roof and should be repaired



Major Defect

GARAGE

6: GARAGE

Missing shiplap flashing noted on exterior of shed and should be repaired. Rotted areas noted at shed and should be evaluated and repaired. Rot mold and mildew noted inside shed and should be repaired. Some mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Rotted wall and floor system in shed and should be evaluated and repaired. Termite tubes and some damage were noted in the garage and should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made. Rotted siding noted and siding in contact with soil also damaged soffit and fascia all exterior walls should be evaluated and repaired. Pavilion on site has some rot and should be repaired. Missing areas of latis. Both shed pavilion should be evaluated and all needed repairs made.



Major Defect



Delamination noted in pavilion ceiling and should be repaired

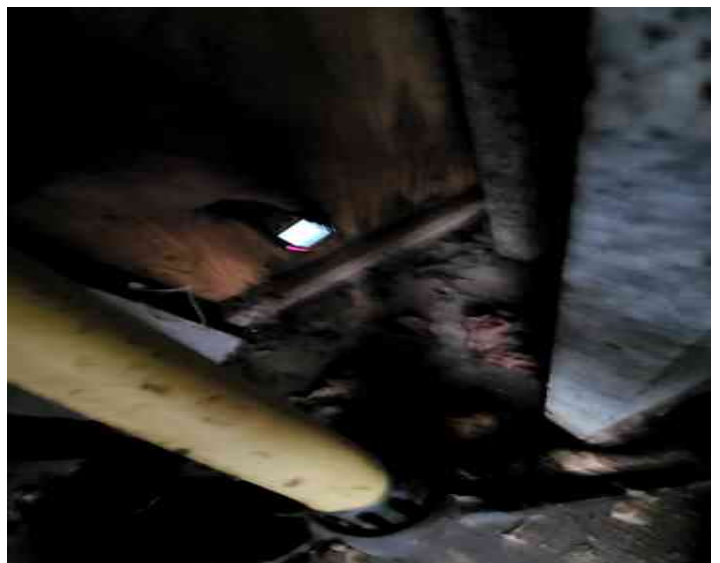
Major Defect



GARAGE

7: Garage Interior Walls

Wet areas noted inside garage and should be evaluated and repaired. Some mold/mildew was noted on walls and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Major Defect



ELECTRIC

8: ELECTRICAL SYSTEM

Basement outlets should be GFCI outlets Boxes on walls should be on blocks to prevent rust Incomplete basement wiring noted expose live wires missing box covers All electrical items were noted as safety concerns shall be considered part of this major defect Multiple electrical defects were noted The entire electrical system should be evaluated by a qualified electrical contractor and all needed repairs should be made



Major Defect



PLUMBING

9: PLUMBING

Low-flow noted Plumbing should be repaired



Major Defect

BASEMENT

10: Basement Ceiling Sub Floor Visible Primary Type

Currently wet stain noted at the rear right corner
Source should be identified and all needed repairs
made. Other Wet stains noted center of rear wall
should be evaluated in repair Some mold/mildew was
noted in the lowest level and should be evaluated and
cleaned by qualified personnel. As mold and mildew
are not part of the home inspection the client may
decide to do further evaluation to determine the extent
of the problem and cost to cleanup/repair.



Center of rear wall

Major Defect

BASEMENT

11: Basement Ceiling Joist Visible Primary Type

Some stains that were not wet at the time of inspection and should be monitored. Wet stains and some dry stains noted in basement and all should be evaluated and repaired.



CRAWL SPACE

12: Crawl Space Ceiling Sub Floor

Current leak noted at the framing under fireplace and source of wetness should be identified and repaired



Major Defect



INTERIOR

13: Interior Walls

Stains rot and discoloration noted on all interior walls and should be evaluated and repaired some stains did not check wet. Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Wet stain noted in the middle rear bedroom and should be evaluated and repaired



Major Defect



Wet stain noted middle rear bedroom

INTERIOR

14: Ceiling Fan

Improper wiring to Fans swag connections have no ground and should be permanently wired



Major Defect



Safety Concern

EXTERIOR

15: Outside Outlets

The GFCI on the garage would not trip when tested and should be repaired.



16: Steps

Stairways to new deck on rear need railings.

17: Garage Roof Framing Style

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair. Stain noted in the front corner not wet. Stain in rear did not rest wet at time of the inspection.

Safety Concern

GARAGE

18: Garage Electrical System

Recommend GFCI protection.



19: Auto Garage Door Lift Controls

The doors would not close without holding button in and safety devices were not checked and should be repaired.

20: Inspection Sticker

No panel sticker in sub- panel and should be inspected in garage.

ELECTRIC

21: Electrical Defaults

Missing panel cover screws were noted and should be replaced. Pointed panel cover screws should be replaced with blunt screws.



Safety Concern

PLUMBING

22: Main Gas Valve

Poorly installed and supported gas piping noted under deck and should be repaired



W. HEATER

23: Water Heater Fuel

There is an improper electrical connection at the top of the unit which should be repaired by a qualified electrician.



Safety Concern

BASEMENT

24: Basement Access

There was no hand rail noted in basement and one should be installed.



KITCHEN

25: Kitchen Ceiling

Some water stains not wet at time of inspection. Some mold/mildew were noted in the kitchen and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection, the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Safety Concern

BATHROOM

26: Bathroom Walls and Ceilings

Other = Some evidence of past leakage some staining but not wet Some mold/mildew was noted on walls behind access panel and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Stains in master bath not wet at time of inspection

27: Interior Ceilings

Stains noted throughout in ceilings and walls Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Safety Concern

INTERIOR

28: Interior Outlets

Damaged Outlet noted in the family room and should be replaced



INTERIOR

29: Closets

Door stabilizing devices have been removed at the base of closet doors and should be reinstated for safety



30: Smoke Detectors

Smoke detectors should be checked on the day home is occupied Today it is suggested and required in some areas to have one smoke detector in each bedroom and one in the hall within 15 feet of bedroom doors and a carbon monoxide detector on bedroom floor and one smoke detector on each remaining level

31: Stairways

Missing railings noted and should be repaired. There was no railing on basement steps.

Service/Repair

EXTERIOR

32: Windows Storm\Screen

Some missing screens were noted.



33: Splash Blocks

Splash blocks or run off drains should be added.

ROOF

34: Garage Roof

Approx age of roof covering 1 to 5 Number of layers =1 Some shingles ran long Too much exposure



Service/Repair



CHIMNEY

35: Chimney 1 Type

Cut out and cracks in chimneys should be sealed



Service/Repair

CHIMNEY

36: Chimney 2 Location

Areas where flashing for cutting into chimneys should be sealed.



Some sealant noted and should be monitored and maintained



Service/Repair

GARAGE

37: Garage Exterior Walls

Added trim board at rear may cover rot



Some visible rot above trim board..

38: Garage Guttering

Gutters should be cleaned

GARAGE

39: Garage Doors

Some dents in garage doors rot noted in garage door trim and should be repaired.



Service/Repair



40: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

BASEMENT

41: Basement Foundation Walls Primary Visible type

Some cracks and water penetration noted. White paint on walls indicate possible environmental clean up.



Service/Repair

CRAWL SPACE

42: Crawl Space Foundation Walls

Some cracks and water penetration noted Smaller block installed over larger block and should be monitored



43: Crawl Space Floor Vapor Barrier

Vapor barrier is recommend to help control moisture in crawlspaces

44: Bathroom Floor

Sloping areas of the floor noted.

45: Windows

Some loose paint wood Rot noted on Windows.

Monitor/Maintain

EXTERIOR

46: Exposed Foundation Primary Visable Type

Some cracks noted.

47: Trim Work

Some loose paint and wood rot noted.

48: Grading

Soil should be sloped away from house to improve drainage.

Monitor/Maintain

EXTERIOR

49: Window Character Material

Some loose paint and wood rot. Some poorly sealed areas where doors and windows meet masonry wall



50: Caulking

Caulking should be improved.

51: Walks

Cracks and some settlement noted.

Monitor/Maintain

GROUNDS

52: Driveway/Parking Lot

Some cracks noted. Water standing in areas of the driveway and should be repaired to drain



53: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

Inspection Definition/Limitation

GUTTERS

54: Runoff Drains

Location and condition of underground drains unknown.

55: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

GARAGE

56: Garage Floor

Inspection garage limited due to heavy storage



Inspection Definition/Limitation

57: Waste System

No test performed on septic system and is not a part of the home inspection.

58: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

59: Basement Insulation Visible Primary Type

Insulation limits inspection.

60: Basement Wall Finish

Inspection limited by finished areas.

61: Crawl Space Insulation

Insulation limits inspection.

62: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

63: Interior Cooling Source

The outside temperature was to low to safely test Cooling Mode.

INTERIOR

64: Interior Fire Place 1

Wood stoves are not inspected as part of home inspection.



Inspection Definition/Limitation



Second wood stove excluded from inspection also

Inspection Definition/Limitation

65: Inspection Description/limitation

DEFINITION/LIMITATION INSPECTION DEFINITION/LIMITATION Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited. Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear. Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems. Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working. Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair. Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair. Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

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Inspection Report Details

EXTERIOR

Safety Concern Outside Outlets - Sample Number Tested

The GFCI on the garage would not trip when tested and should be repaired.

Type of Building - Frame

Monitor/Maintain Exposed Foundation Primary Visible Type - Cement Block

Some cracks noted.

Major Defect Soffit\Fascia - Wood

Some loose paint and wood rot noted. Carpenter bee and Bird damage noted and all exterior wood products should be evaluated and all needed repairs made. Poorly sealed area where soffit and fascia meet chimney and should be repaired

Major Defect Siding - Wood

Carpenter bee and bird damage noted and some repairs all exterior walls should be evaluated in only repairs made and treatments Poorly installed Windows noted not flashed properly no top flashing All should be evaluated and repaired

Monitor/Maintain Trim Work - Wood

Some loose paint and wood rot noted.

Monitor/Maintain Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Entry Doors - Raised Panel\Glass

Patio Doors - Sliding, Vinyl Clad

Monitor/Maintain Window Character Material - Wood

Some loose paint and wood rot. Some poorly sealed areas where doors and windows meet masonry wall

Window Character Type - Casement

Additional Windows - Mixed Windows

Glass - Insulated, Single Pane

Service/Repair Windows Storm\Screen - MFG Screens

EXTERIOR

Some missing screens were noted.

Weather Stripping - Rubber\Vinyl, Metal, Fiber\Felt

Caulking - Penetrations, Doors, Windows, Siding Ends

Caulking should be improved.

GROUNDS

Walks - Concrete

Cracks and some settlement noted.

Steps - Wood

Stairways to new deck on rear need railings.

Decks - Man made decking with Pressure Sub-framing

Deck has leaning posts/peirs and is not bolted to the house and should be evaluated and repaired Both legs do to not rest on properly posts and should be evaluated and repaired. Missing railings noted at newer deck and should be installed. Stain and some rot noted. All decks should be evaulated and repaired. beam does not fully rest on posts.

Driveway/Parking Lot - Asphalt

Some cracks noted. Water standing in areas of the driveway and should be repaired to drain

Retaining Wall - Stone, Railroad Ties

Cracked, loose and damaged areas of all some staining indicates water penetration and no weep holes noted and should be evaluated and repaired

GUTTERS

Inspected From - Ground

Access Restricted - Not Restricted

Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

Downspout Type - Aluminum

Sealed Downspouts - Some

GUTTERS

**Inspection
Definition/Limitation** Runoff Drains - Plastic

Location and condition of underground drains unknown.

Service/Repair Splash Blocks - Plastic

Splash blocks or run off drains should be added.

ROOF

Major Defect ROOF - General Comment

Large sag and improper cap shingles noted on shed roof and should be repaired

 How Inspected - Walk on Roof

 Roof Access Restricted - Not Restricted

 Roof Style - Gable

 Roof Covering Primary Type - Fiberglass asphalt shingle

 Approx. Age - 1 thru 5

 Number of Layers - 1

 Roof Ventilation System - Ridge, None

 Flashing - Aluminum

 Plumbing Vents - PVC

Service/Repair Garage Roof - Aprox. Age , Number of Layers

Approx age of roof covering 1 to 5 Number of layers =1 Some shingles ran long Too much exposure

CHIMNEY

 Chimney Inspected From - Roof

**Inspection
Definition/Limitation** Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Service/Repair Chimney 1 Type - Block

CHIMNEY

Cut out and cracks in chimneys should be sealed

Chimney 1 Location - Fireplace

Chimney 2 Location - Main

Areas were flashing for cutting into chimneys should be sealed.

Flue Lining - Clay Tile, Metal

Chimney Top - Cement

Some cracks noted in chimney top.

Chimney Cap - Rain, Steel

COOLING

Cooling System 1 Brand - Goodman manufacturing

Cooling System 1 Tonnage - 3 Ton

Cooling System 1 Approx. Age - 1

Cooling System Coils and Fins - Clean

Cooling System Electrical - Ext. Disconnect

Cooling Lines - Insulation

Condensate Drain - Plastic

Differential Temp 1 - Details

Return temp = 69 Supply temp = 86 Differential Temp = 17

GARAGE

GARAGE - General Comment

GARAGE

Missing shiplap flashing noted on exterior of shed and should be repaired. Rotted areas noted at shed and should be evaluated and repaired. Rot mold and mildew noted inside shed and should be repaired. Some mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Rotted wall and floor system in shed and should be evaluated and repaired. Termite tubes and some damage were noted in the garage and should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made. Rotted siding noted and siding in contact with soil also damaged soffit and fascia all exterior walls should be evaluated and repaired. Pavilion on site has some rot and should be repaired. Missing areas of latis. Both shed pavilion should be evaluated and all needed repairs made.

Satisfactory Garage Type - 3 Car Attached, Multi Car Detached

Service/Repair Garage Exterior Walls - Wood, Brick

Added trim board at rear may cover rot

Satisfactory Garage Fascia\Soffit - Wood

Service/Repair Garage Guttering - Aluminum

Gutters should be cleaned

Safety Concern Garage Roof Framing Style - Gable

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair. Stain noted in the front corner not wet. Stain in rear did not rest wet at time of the inspection.

Satisfactory Garage Roof Framing Type - Truss

Safety Concern Garage Electrical System - Fed From House , Grounded

Recommend GFCI protection.

Safety Concern Auto Garage Door Lift Controls - Auto Opener

The doors would not close without holding button in and safety devices were not checked and should be repaired.

Major Defect Garage Interior Walls - Unfinished

GARAGE

Wet areas noted inside garage and should be evaluated and repaired. Some mold/mildew was noted on walls and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Garage Interior Ceiling - Unfinished

Garage Floor - Concrete

Inspection garage limited due to heavy storage

Garage Doors - Overhead, Metal\Aluminum

Some dents in garage doors rot noted in garage door trim and should be repaired.

ELECTRIC

ELECTRICAL SYSTEM - General Comment

Basement outlets should be GFCI outlets Boxes on walls should be on blocks to prevent rust Incomplete basement wiring noted expose live wires missing box covers All electrical items were noted as safety concerns shall be considered part of this major defect Multiple electrical defects were noted The entire electrical system should be evaluated by a qualified electrical contractor and all needed repairs should be made

Main Electrical Service Wire - Aluminum

Overhead Clearance - Est. Feet

Voltage Available - 110 / 220

Main Electrical Distribution Panel Accessibility - Typical

Main Electrical Distribution Panel Location - Basement

Main Electrical Disconnect - Breaker

Main Panel - 200

Sub Panel - 50

Interior Wiring Visible Primary Type - Copper 90 percent

Type of Wire Visible Primary Type - Romex

ELECTRIC

- Grounding - Driven Rod
- Breakers in Use - Room for Expansion
- Sub Panel Cir. in Use - Room For Expansion
- Safety Concern** Inspection Sticker - Sub Panel

No panel sticker in sub- panel and should be inspected in garage.

- Safety Concern** Electrical Defaults - Main Panel

Missing panel cover screws were noted and should be replaced. Pointed panel cover screws should be replaced with blunt screws.

- Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

- Major Defect** PLUMBING - General Comment

Low-flow noted Plumbing should be repaired

- Water Source - Municipal

- Safety Concern** Main Gas Valve - Outside

Poorly installed and supported gas piping noted under deck and should be repaired

- Interior Water Pipes Primary Visible Type - CPVC

- Inspection Definition/Limitation** Waste System - Private Septic

No test performed on septic system and is not a part of the home inspection.

- Service/Repair** Interior Waste/Vent Pipes Primary Visible Type - PVC, Cast Iron

Most piping concealed supply and drain.

- Number of Outside Spigots - 2

- Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

- Well Pump Type - Submersible

PLUMBING

Satisfactory	Pump Location - Well Casing
Satisfactory	Well Pump Installation - Deep
Satisfactory	Supply Tank Type - Steel Tank Air Bladder
Satisfactory	Supply Tank Location - Basement

W. HEATER

Satisfactory	Water Heater 1 Mfg. - Rheem
Satisfactory	Water Heater 1 Approx. Age - 1
Satisfactory	Water Heater 1 Size - 50
Safety Concern	Water Heater Fuel - Electric

There is an improper electrical connection at the top of the unit which should be repaired by a qualified electrician.

Satisfactory	Water Heater Cold Water Valve - Present
Satisfactory	Temp. Pressure Relief Valve and Pipe - Present
Satisfactory	Water Heater Exterior Jacket - OK

LAUNDRY

Satisfactory	Laundry Water Faucets - Single Handle
Satisfactory	Washer Drains - Trapped Line
Satisfactory	Dryer Vented - Wall
Satisfactory	Laundry Energy Source - 220 Electric

FURNACE

Satisfactory	Forced Air System 1 Mfg. - Goodman Man.
Satisfactory	Forced Air System 1 BTU Per Hour - 75,000+
Satisfactory	Forced Air System 1 Approx. Age - 1
Satisfactory	Forced Air System Energy Source - Gas
Satisfactory	Hot Air System - Direct Drive, Other
Satisfactory	Heat Exchanger Flame Pattern - Pass

FURNACE

Inspection Definition/Limitation Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Heat Pump - Electric

Distribution System Type - Up Flow

Distribution System Material - Metal Duct

Thermostat - Single and Multi

Flue Piping - PVC

Filter System - Disposable

BASEMENT

Basement Type - Full Percent, Combination Crawlspace

Safety Concern Basement Access - Interior Stairs

There was no hand rail noted in basement and one should be installed.

Service/Repair Basement Foundation Walls Primary Visible type - Cement Block

Some cracks and water penetration noted. White paint on walls indicate possible environmental clean up.

Basement Floor - Cement

Basement Structural Columns Visible Primary Type - Bearing Wall, Concrete Block

Basement Structural Beams Visible Primary Type - Wood

Major Defect Basement Ceiling Sub Floor Visible Primary Type - Plywood

Currently wet stain noted at the rear right corner Source should be identified and all needed repairs made. Other Wet stains noted center of rear wall should be evaluated in repair Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

BASEMENT

Major Defect Basement Ceiling Joist Visible Primary Type - Conventional

Some stains that were not wet at the time of inspection and should be monitored. Wet stains and some dry stains noted in basement and all should be evaluated and repaired.

Inspection Definition/Limitation Basement Insulation Visible Primary Type - Sill Plates

Insulation limits inspection.

Inspection Definition/Limitation Basement Wall Finish - Partially Finished

Inspection limited by finished areas.

Basement Drainage - Floor Drain

CRAWL SPACE

Crawl Space Type - Full , Combination

Crawl Space Access - Via Basement

Service/Repair Crawl Space Foundation Walls - Cement Block

Some cracks and water penetration noted Smaller block installed over larger block and should be monitored

Crawl Space Structural Columns - Bearing Wall

Crawl Space Structural Beams - Wood

Major Defect Crawl Space Ceiling Sub Floor - Sheathing BD

Current leak noted at the framing under fireplace and source of wetness should be identified and repaired

Crawl Space Ceiling Joist - Conventional

Inspection Definition/Limitation Crawl Space Insulation - Between Joist

Insulation limits inspection.

Crawl Space Ventilation - None

Service/Repair Crawl Space Floor Vapor Barrier - Not Present

Vapor barrier is recommend to help control moisture in crawlspaces

Crawl Space Floor Type - Dirt

CRAWL SPACE

Crawl Space Drainage - None

KITCHEN

Kitchen Walls - Drywall

Kitchen Ceiling - Wood

Some water stains not wet at time of inspection Some mold/mildew were noted in the kitchen and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Kitchen Floors - Vinyl

Kitchen Heating Source - Central

Kitchen Cooling Source - Central

Kitchen Doors Windows - Tested

Kitchen Cabinets - Custom Wood

Kitchen Sink - Stainless

Kitchen Sink Faucet - Other, Single Lever

Kitchen Drain and Trap - PVC

Dishwasher Approx. Age - 5/10

Dishwasher Mfg. - GE

Trash Compactor - None

Exhaust Fan Hood - Hood Ductless

Range Oven - Drop In

Self cleaning if on stove not part of inspection and will not be tested.

Surface Cooktop - Electrical

Kitchen Wall Receptacles - GFI Protected

Kitchen Switches Fixtures - Hanging

BATHROOM

- Bathroom Doors, Windows - Door Lock
- Bathroom Electric Switches and Fixtures - Wall
- Bathroom Receptacles - GFCI
- Bathroom Walls and Ceilings - Other

Other = Some evidence of past leakage some staining but not wet Some mold/mildew was noted on walls behind access panel and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

- Bathroom Exhaust System - Window
- Bathroom Heating Cooling - Central Sys
- Bathroom Sink Faucets - Single Lever
- Bathroom Sink Stopper - Push Pull
- Bathroom Sink Basin - Cast Marble
- Bathroom Sink Drain and Trap - PVC
- Toilet Bowl and Tank - 2 Piece, Anchored
- Toilet Operation - Other

Other =

- Bathtub Faucets - Individual
- Bathtub Stopper - Pop Up
- Bath Showerhead - Standard
- Tub Wall Encl. - Other

Other = wood and metal.

- Bathroom Ventilation - Window
- Bathroom Floor - Vinyl

Sloping areas of the floor noted.

- Shower Stall Walls - Fiberglass
- Shower Drain - Floor Drain Stall
- Shower Faucets - Single Lever

BATHROOM

Number of Full Baths - 2

INTERIOR

Interior - Living Room, Family Room, Dining Room

Number of Bedrooms - 3

Major Defect Interior Walls - Other

Stains rot and discoloration noted on all interior walls and should be evaluated and repaired some stains did not check wet. Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Wet stain noted in the middle rear bedroom and should be evaluated and repaired

Safety Concern Interior Ceilings - Wood Panels

Stains noted throughout in ceilings and walls Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Interior Floors - Wood, Carpet

Interior Switches - Sample Number Test

Interior Fixtures - Properly Wired

Safety Concern Interior Outlets - Three Prong Grounded

Damaged Outlet noted in the family room and should be replaced

Interior Heat Source - Tested

Inspection Definition/Limitation Interior Cooling Source - Not Tested

The outside temperature was to low to safely test Cooling Mode.

Interior Cabinets and Shelving - Accessible

Inspection Definition/Limitation Interior Fire Place 1 - Wood Stove

Wood stoves are not inspected as part of home inspection.

Interior Fire Place 2 - Masonry

INTERIOR

Satisfactory Visible Flues and DMPs - Operated

Safety Concern Closets - Doors in Place

Door stabilizing devices have been removed at the base of closet doors and should be reinstalled for safety

Safety Concern Smoke Detectors - Too Few

Smoke detectors should be checked on the day home is occupied Today it is suggested and required in some areas to have one smoke detector in each bedroom and one in the hall within 15 feet of bedroom doors and a carbon monoxide detector on bedroom floor and one smoke detector on each remaining level

Safety Concern Stairways - Missing Hand Railings

Missing railings noted and should be repaired. There was no railing on basement steps.

Major Defect Ceiling Fan - Sample Number Tests

Improper wiring to Fans swag connections have no ground and should be permanently wired

Service/Repair Windows - Operated

Some loose paint wood Rot noted on Windows.

Satisfactory GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.