



Reliable Home Inspection Service  
100 Old Kennett Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By Francis Glynn [REDACTED]

Referral Information

Client Information [REDACTED]

[REDACTED]

Inspected [REDACTED]

FRONT VIEW



# Inspection Summary

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## Major Defect

### GROUNDINGS

#### 0208: Driveway/Parking Lot

Some cracks noted.  
Final coat was not installed at time of inspection.  
Recommend to client to request documentation on completion date.



### EXTERIOR

#### 0309: Masonry Walls

Other= Faux stone.  
Missing mortar and gaps noted.  
Exterior walls should be evaluated and all needed repairs should be made.



## Major Defect



## Safety Concern

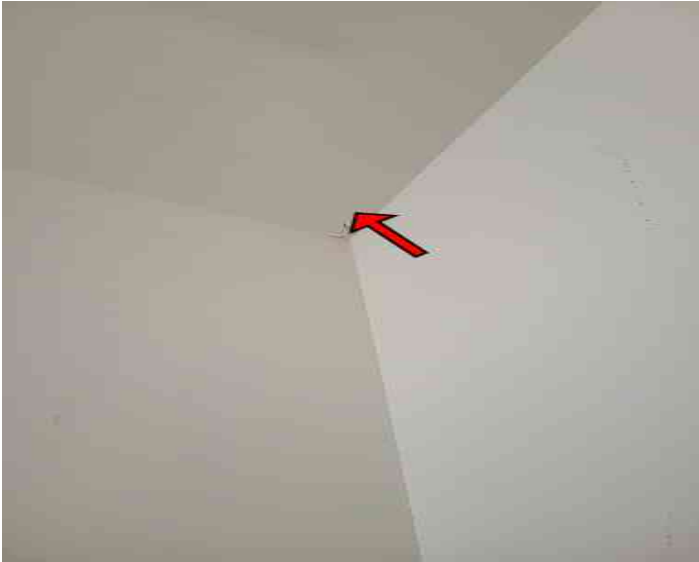
### GARAGE

#### 0811: Garage Interior Walls

All holes in fire rated walls should be patched.  
Some loose paint was noted.



## Safety Concern



### GARAGE

#### 0814: Garage Doors

Damage to the panel at the over head door.  
Missing weather stripping was noted at the passage door and should be repaired.

The garage passage door to house should have an automatic closer to protect the house occupants from carbon monoxide fumes from auto emissions.



#### 0919: Electrical Defaults

Missing panel cover screws and should be replaced.



# Safety Concern

## KITCHEN

### 1720: Kitchen Wall Receptacles

GFCI reset is in the main panel.  
Exposed wiring noted in the cabinet and should be repaired.  
Light is not straight and should be repaired



## Safety Concern

### ATTIC

#### 2005: Attic Structural Framing Type

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



### INTERIOR

#### 2113: Interior Fire Place 1

Missing grommet noted around gas line and should be repaired.



## GROUNDS

### 0207: Decks

Scratched and damaged deck boards were noted and should be repaired



# Service/Repair

## GROUNDS

### 0210: Hand Rail

Other= Vinyl

Scuffed and scratched areas were noted at the deck post and should be repaired.



## EXTERIOR

### 0301 EXTERIOR

Damaged exterior vent flap and should be repaired





## EXTERIOR

### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.  
Openings should be sealed



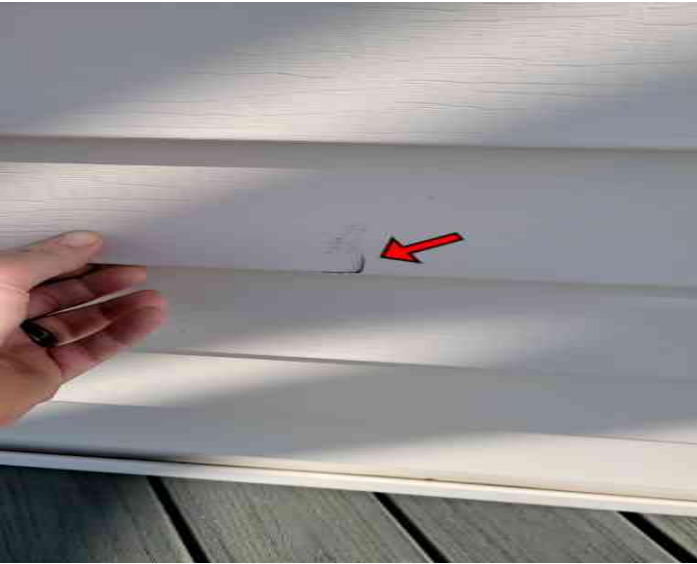
## EXTERIOR

### 0308 Siding

Damaged was noted on the rear and should be repaired.  
Some scuffing was noted



## Service/Repair



### EXTERIOR

#### 0311: Entry Doors

Missing weather stripping was noted and should be repaired.



## EXTERIOR

### 0320: Caulking

Caulking should be improved.  
All trim and holes should be sealed.



### 0408: Splash Blocks

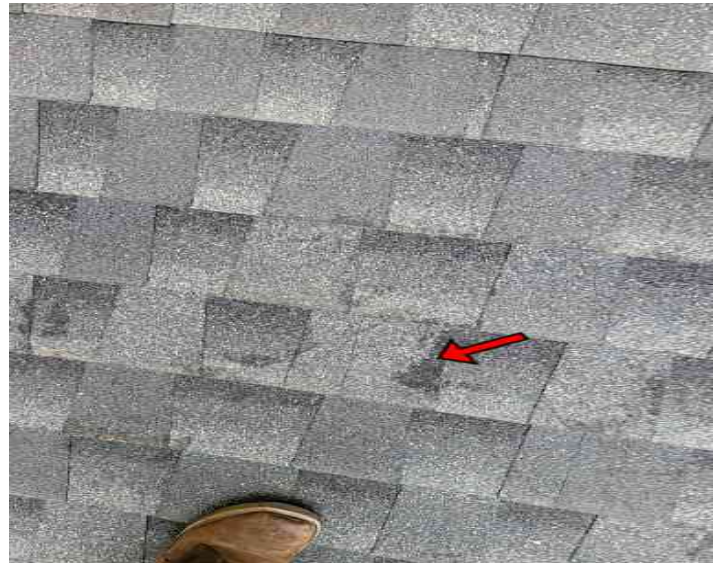
Other = Poorly installed drain pipe for the sump was noted and should be repaired.



## ROOF

### 0505: Roof Covering Primary Type

Some scuffing and aggregate loss noted and should be monitored  
Debris should be removed from the roof surface.  
A few cracked/damaged shingles were noted and should be repaired.  
Nail heads should be sealed where exposed  
Loose fitting shingle was noted and should be repaired.





## COOLING

### 0708: Cooling Lines

Penetrations should be sealed.



## GARAGE

### 0813 Garage Floor

Damaged and poorly finished areas were noted and should be repaired.



## Service/Repair



## FURNACE

### 1317 Filter System

There was no filter installed at time of the inspection



## Service/Repair

### BASEMENT

#### 1503: Basement Access

Raised stair tread was noted and should be repaired.



### KITCHEN

#### 1703 Kitchen Ceiling

Some poorly finished areas were noted





## KITCHEN

### 1708 Kitchen Cabinets

Some scratches were noted and should be repaired  
Gap noted at the base cabinet toe kick and should be repaired





### HALF BATH

#### 1805: Half Bath Walls and Ceilings

Poorly finished areas were noted.



### BATHROOM

#### 1905 Bathroom Walls and Ceilings

Poorly finished areas were noted and should be repaired.



## Service/Repair



### 1913: Toilet Operation

Noisy refill at the master bathroom toilet.

## BATHROOM

### 1918: Tub Wall Encl.

Missing grout was noted and should be repaired.  
Caulking should be improved.

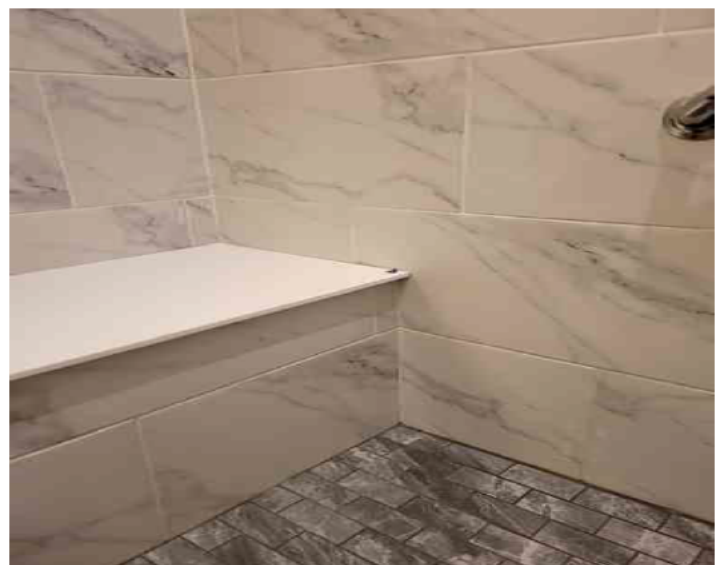




BATHROOM

1921: Shower Stall Walls

Caulking should be improved.



## INTERIOR

### 2104: Interior Walls

Typical drywall flaws were noted.  
Some poorly finished areas were noted.





## INTERIOR

### 2105: Interior Ceilings

Typical drywall flaws were noted.  
Poorly finished areas of drywall were and should be repaired.  
Bowed section was noted at the front left bedroom.



## INTERIOR

### 2116: Closets/ Interior Doors

Front right bedroom bypass closet door rubs and should be repaired



## INTERIOR

### 2119 Stairways

Staple holes were noted and should be repaired





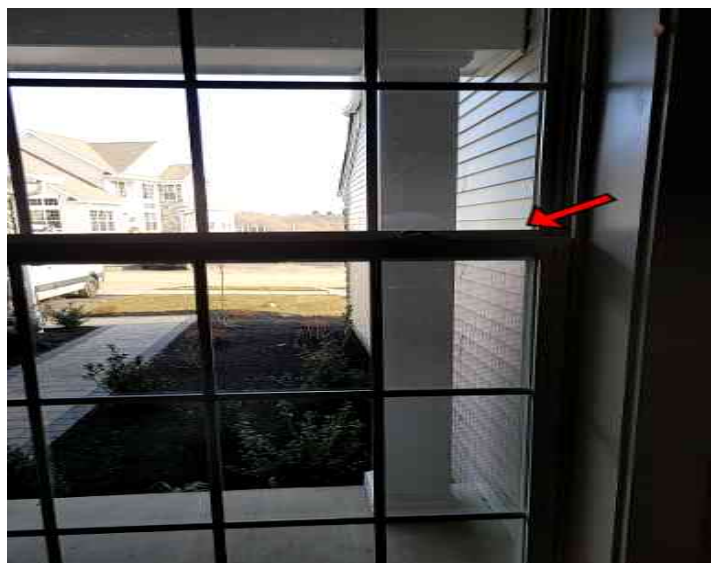
## INTERIOR

### 2122 Windows

2nd floor hallway window does not lock and should be repaired.

Right window at the dining room is tight and should be repaired.

Right window at the family room was tight and should be repaired.



## Monitor/Maintain

### GROUNDS

#### 0203: Walks

Cracks and some settlement noted.

#### 0204: Steps

Cracks and some settlement noted.

#### 0307: Grading

Soil should be sloped away from house to improve drainage.

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

#### 1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.

## Inspection Definition/Limitation

### GUTTERS

#### 0407: Runoff Drains

Location and condition of underground drains unknown.

#### 0503: Roof Access Restricted

Some areas too steep to walk.

#### 0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

#### 0711: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

#### 1001: PLUMBING

Sprinkler system not part of home inspection and was not inspected

#### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.



## Inspection Definition/Limitation

### 1201 LAUNDRY

No appliances were installed at time of inspection

### 1308 Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

### 1512: Basement Insulation Visible Primary Type

Insulation limits inspection.

## KITCHEN

### 1718 Range Oven

There was no stove installed at time of inspection



### 2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

### 2111 Interior Cooling Source

The outside temperature was too low to safely test Cooling Mode

# Inspection Definition/Limitation

## 2201 Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations Definitions of inspection opinions or areas that the inspection is limited

**Satisfactory** An item in normal operation, or serviceable condition, but may show normal wear

**Monitor/Maintain** An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

**Service/Repair** - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection Also noted, may be some inaccessible items or items not working.

**Safety Concern** - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

**Major Defect** - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.





# INSPECTION DEFINITIONS/LIMITATION

## Inspection Description/limitation

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# Inspection Report Details

## GROUNDS

**Monitor/Maintain** 0203: Walks - Concrete, Stone

Cracks and some settlement noted.

**Monitor/Maintain** 0204: Steps - Concrete

Cracks and some settlement noted.

0205: Patio - Stone

**Service/Repair** 0207: Decks - Man made decking with Pressure Sub-framing

Scratched and damaged deck boards were noted and should be repaired.

**Major Defect** 0208: Driveway/Parking Lot - Asphalt

Some cracks noted. Final coat was not installed at time of inspection. Recommend to client to request documentation on completion date.

**Service/Repair** 0210: Hand Rail - Other

Other= Vinyl Scuffed and scratched areas were noted at the deck post and should be repaired.

## EXTERIOR

**Service/Repair** 0301: EXTERIOR - General Comment

Damaged exterior vent flap and should be repaired.

0302 Outside Outlets Tested

0303 Type of Building Frame, 2 Story

**Service/Repair** 0304 Exposed Foundation Primary Visible Type Poured Concrete

Some cracks noted Openings should be sealed

0306: Soffit\Fascia - Aluminum

**Monitor/Maintain** 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

**Service/Repair** 0308 Siding Vinyl

## EXTERIOR

Damaged was noted on the rear and should be repaired Some scuffing was noted

**Major Defect** 0309: Masonry Walls - Other

Other Faux stone Missing mortar and gaps noted Exterior walls should be evaluated and all needed repairs should be made.

0310 Trim Work Vinyl

**Service/Repair** 0311 Entry Doors Metal

Missing weather stripping was noted and should be repaired

0313: Patio Doors - Sliding

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung

0317: Glass - Insulated

0318: Windows Storm\Screen - MFG Screens

0319: Weather Stripping - Fiber\Felt

**Service/Repair** 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved. All trim and holes should be sealed.

## GUTTERS

0402: Inspected From - Ground, Roof

0403: Access Restricted - Not Restricted

**Monitor/Maintain** 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

0405: Downspout Type - Aluminum

0406: Sealed Downspouts - Most

**Inspection  
Definition/Limitation** 0407: Runoff Drains - PVC

Location and condition of underground drains unknown.

**Service/Repair** 0408: Splash Blocks - Other

## GUTTERS

Other = Poorly installed drain pipe for the sump was noted and should be repaired.

## ROOF

0502: How Inspected - Walk on Roof

**Inspection  
Definition/Limitation** 0503: Roof Access Restricted - Not Restricted

Some areas too steep to walk.

0504: Roof Style - Gable

**Service/Repair** 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

Some scuffing and aggregate loss noted and should be monitored. Debris should be removed from the roof surface. A few cracked/damaged shingles were noted and should be repaired. Nail heads should be sealed where exposed. Loose fitting shingle was noted and should be repaired.

0506: Approx. Age - 1 thru 5

0507: Number of Layers - 1

0508: Roof Ventilation System - Ridge, Soffit

0509: Flashing - Aluminum

0510: Valleys - Asphalt

0511: Plumbing Vents - PVC

## CHIMNEY

0602: Chimney Inspected From - Roof

**Inspection  
Definition/Limitation** 0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0604: Chimney 1 Type - Metal

0605: Chimney 1 Location - Main

0608: Flue Lining - Metal

0609: Chimney Top - Metal



## CHIMNEY

Satisfactory 0610 Chimney Cap Rain

## COOLING

Satisfactory 0702: Cooling System 1 Brand - Carrier

Satisfactory 0703: Cooling System 1 Tonnage - 3 Ton

Satisfactory 0704: Cooling System 1 Approx. Age - 1

Satisfactory 0705: Heat Pump - Air to Air

Satisfactory 0706: Cooling System Coils and Fins - Clean

Satisfactory 0707: Cooling System Electrical - Ext. Disconnect

**Service/Repair** 0708: Cooling Lines - Insulation

Penetrations should be sealed.

Satisfactory 0709: Condensate Drain - Plastic

**Inspection  
Definition/Limitation** 0711: Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

## GARAGE

Satisfactory 0802: Garage Type - 2 Car Attached

Satisfactory 0803: Garage Exterior Walls - Same as House

Satisfactory 0809: Garage Electrical System - GFCI, Lighting

Satisfactory 0810: Auto Garage Door Lift Controls - Auto Opener, Auto Safety Reverse, Electronic Eye

**Safety Concern** 0811: Garage Interior Walls - Drywall\Plaster

All holes in fire rated walls should be patched. Some loose paint was noted.

Satisfactory 0812 Garage Interior Ceiling Drywall\Plaster

**Service/Repair** 0813 Garage Floor Concrete

Damaged and poorly finished areas were noted and should be repaired

## GARAGE

**Safety Concern** 0814: Garage Doors - Overhead

Damage to the panel at the over head door. Missing weather stripping wad noted at the passage door and should be repaired. The garage passage door to house should have an automatic closer to protect the house occupants from carbon monoxide fumes from auto emissions.

## ELECTRIC

Satisfactory 0902: Main Electrical Service - Underground Lateral Cable

Satisfactory 0903: Main Electrical Service Wire - Aluminum

Satisfactory 0905: Voltage Available - 110 / 220

Satisfactory 0906: Main Electrical Distribution Panel Accessibility - Typical

Satisfactory 0907: Main Electrical Distribution Panel Location - Garage

Satisfactory 0908: Main Electrical Disconnect - Breaker

Satisfactory 0909: Main Panel - 200

Satisfactory 0911: Interior Wiring Visible Primarey Type - Copper 90 percent

Satisfactory 0912: Type of Wire Visable Primary Type - Romex

Satisfactory 0913: Grounding - Driven Rod

Satisfactory 0914: Breakers in Use - Room for Expansion

Satisfactory 0917: Inspection Sticker - Main Panel

Satisfactory 0918: Panel Schedule Filled in - Filled Out

**Safety Concern** 0919: Electrical Defaults - Main Panel

Missing panel cover screws and should be replaced.

Satisfactory 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

## PLUMBING

**Inspection  
Definition/Limitation** 1001: PLUMBING - General Comment

Sprinkler system not part of home inspection and was not inspected

## PLUMBING

Satisfactory	1002 Water Source Municipal
Satisfactory	1003 Municipal Main Supply Size 3/4
Satisfactory	1004 Municipal Main Supply Type Plastic
Satisfactory	1005 Main Water Shut Off Basement
Satisfactory	1006 Main Gas Valve Outside
Satisfactory	1007 Interior Water Pipes Primaray Visible Type PEX
Satisfactory	1008 Waste System Municipal
Inspection Definition/Limitation	1009 Interior Waste/Vent Pipes Primary Visable Type PVC

Most piping concealed supply and drain.

Satisfactory	1010 Number of Outside Spigots 2
Satisfactory	1011 Type of Outside Spigots Frost Free

## W. HEATER

Satisfactory	1103: Water Heater 1 Mfg. - Bradford White
Satisfactory	1104: Water Heater 1 Rated BTU Per Hour - 40,000 +
Satisfactory	1105: Water Heater 1 Approx. Age - 1
Satisfactory	1106: Water Heater 1 Size - 50
Satisfactory	1107: Water Heater Fuel - Gas
Satisfactory	1108: Water Heater Flue Pipe - PVC
Satisfactory	1109: Water Heater Gas Piping - Valve On Off
Satisfactory	1110: Water Heater Cold Water Valve - Present
Satisfactory	1111: Temp. Pressure Relief Valve and Pipe - Present
Satisfactory	1113: Water Heater Exterior Jacket - OK

## LAUNDRY

Inspection Definition/Limitation	1201: LAUNDRY - General Comment
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## LAUNDRY

No appliances were installed at time of inspection

Satisfactory	1203: Laundry Sink - Plastic
Satisfactory	1204 Laundry Sink Faucets Tested
Satisfactory	1205 Laundry Sink Drain Trap PVC
Satisfactory	1206 Laundry Water Faucets Gate Type
Satisfactory	1207 Washer Drains Trapped Line
Satisfactory	1208 Dryer Vented Wall
Satisfactory	1209 Laundry Energy Source Gas, 220 Electric

## FURNACE

Satisfactory	1302: Forced Air System 1 Mfg. - Carrier
Satisfactory	1303: Forced Air System 1 BTU Per Hour - 60,000
Satisfactory	1304: Forced Air System 1 Approx. Age - 1
Satisfactory	1305: Forced Air System Energy Source - Gas
Satisfactory	1306: Hot Air System - Direct Drive
Satisfactory	1307: Heat Exchanger Flame Pattern - Pass
Inspection Definition/Limitation	1308: Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Satisfactory	1310: Distribution System Type - Up Flow
Satisfactory	1311: Distribution System Material - Metal Duct, Insul. Flex Duct
Satisfactory	1312: Thermostat - Programmable
Satisfactory	1313: Flue Piping - PVC
Service/Repair	1317: Filter System - Disposable

There was no filter installed at time of the inspection.



## BASEMENT

1502 Basement Type Full Basement, Walk out

1503 Basement Access Interior Stairs

Raised stair tread was noted and should be repaired

1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration.

1505 Foundation Anchors Anchor Straps

1506 Basement Floor Cement

1508 Basement Structural Columns Visible Primary Type Steel

1509 Basement Structural Beams Visible Primary Type Steel

1510 Basement Ceiling Sub Floor Visible Primary Type Particle BD

1511 Basement Ceiling Joist Visible Primary Type Truss

1512 Basement Insulation Visible Primary Type Sill Plates, Perimeter Walls

Insulation limits inspection.

1514 Basement Drainage Sump Pump

## KITCHEN

1702: Kitchen Walls - Drywall, Tile

1703: Kitchen Ceiling - Drywall

Some poorly finished areas were noted.

1704: Kitchen Floors - Vinyl

1705: Kitchen Heating Source - Central

1706: Kitchen Cooling Source - Central

1708: Kitchen Cabinets - Custom Wood

Some scratches were noted and should be repaired. Gap noted at the base cabinet toe kick and should be repaired.

## KITCHEN

Satisfactory	1709: Kitchen Sink - Cast Iron Porcelain
Satisfactory	1710: Kitchen Sink Faucet - Single Lever
Satisfactory	1712: Kitchen Drain and Trap - PVC
Satisfactory	1713: Garbage Disposal - Continuous Feed
Satisfactory	1714: Dishwasher Approx. Age - 1/5
Satisfactory	1715: Dishwasher Mfg. - Jenaire
Satisfactory	1717: Exhaust Fan Hood - Hood Exhaust
Inspection Definition/Limitation	1718: Range Oven - None

There was no stove installed at time of inspection.

Satisfactory	1719: Surface Cooktop - Gas
Safety Concern	1720: Kitchen Wall Receptacles - GFI Protected

GFCI reset is in the main panel. Exposed wiring noted in the cabinet and should be repaired. Light is not straight and should be repaired.

Satisfactory	1721: Kitchen Switches Fixtures - Recessed, Hanging
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## HALF BATH

Satisfactory	1802: Half Bath Doors and Windows - Door/ Lock
Satisfactory	1803: Half Bath Electric Switches and Fixtures - Wall
Satisfactory	1804: Half Bath Receptacles - GFCI
Service/Repair	1805: Half Bath Walls and Ceilings - Drywall

Poorly finished areas were noted.

Satisfactory	1807: Half Bath Heating and Cooling - Central
Satisfactory	1808: Half Bath Sink Faucets - Individual
Satisfactory	1809: Half Bath Sink Stopper - Push Pull
Satisfactory	1810: Half Bath Sink Basin - Porcelain
Satisfactory	1811: Half Bath Sink Drain and Trap - PVC
Satisfactory	1812: Toilet Bowl and Tank - 2 Piece

## HALF BATH

Satisfactory	1813: Toilet Operation - Flushes, Drains, Refills
Satisfactory	1814: Half Bath Ventilation - Fan
Satisfactory	1815: Half Bath Floor - Vinyl
Satisfactory	1816: Number of Half Baths - 1

## BATHROOM

Satisfactory	1902: Bathroom Doors, Windows - Door/ Lock
Satisfactory	1903: Bathroom Electric Switches and Fixtures - Ceiling, Wall
Satisfactory	1904: Bathroom Receptacles - GFCI
Service/Repair	1905: Bathroom Walls and Ceilings - Drywall

Poorly finished areas were noted and should be repaired.

Satisfactory	1907: Bathroom Heating Cooling - Central Sys
Satisfactory	1908: Bathroom Sink Faucets - Individual
Satisfactory	1909: Bathroom Sink Stopper - Push Pull
Satisfactory	1910: Bathroom Sink Basin - Porcelain
Satisfactory	1911: Bathroom Sink Drain and Trap - PVC
Satisfactory	1912: Toilet Bowl and Tank - 2 Piece
Service/Repair	1913: Toilet Operation - Flushes, Drains, Refills

Noisy refill at the master bathroom toilet.

Satisfactory	1914: Bathtub Faucets - Single Lever
Satisfactory	1915: Bathtub Stopper - Pop Up
Satisfactory	1916: Bath Showerhead - Standard
Service/Repair	1918: Tub Wall Encl. - Ceramic

Missing grout was noted and should be repaired. Caulking should be improved.

Satisfactory	1919: Bathroom Ventilation - Fan
Satisfactory	1920: Bathroom Floor - Ceramic



## BATHROOM

**Service/Repair** 1921 Shower Stall Walls Ceramic Tile

Caulking should be improved

1922: Shower Drain - Tub, Floor Drain Stall

1923: Shower Faucets - Single Lever

1924: Number of Full Baths - 2

## ATTIC

**Inspection Definition/Limitation** 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2003: Attic Entry Access - Hatch

2004: Attic Access Location - Closet

**Safety Concern** 2005: Attic Structural Framing Type - Trusses, Combination, Conventional

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

2006: Attic Structural Framing Spacing - 24 inches on Center

2007: Attic Sheathing - Particle Board, Plywood

2008: Attic Floor Insulation - Loose Fill, Batt

2009: Attic Insulation Thickness - 10 inches

2010: Attic Insulation Approx. R. Value - 30

2011: Attic Ventilation - Ridge, Soffit

2012: Attic Wiring - Covered with Insulation

2013: Attic Vent Pipes - Vented Outside

2014: Attic Exhaust - Vents Outside

2015: Attic Chimney Flues - Metal

## ATTIC

## INTERIOR

2103: Number of Bedrooms - 3

2104: Interior Walls - Dry Wall

Typical drywall flaws were noted. Some poorly finished areas were noted.

2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted. Poorly finished areas of drywall were and should be repaired. Bowed section was noted at the front left bedroom.

2106: Interior Floors - Vinyl

2110: Interior Heat Source - Tested

2111: Interior Cooling Source - Not Tested

The outside temperature was too low to safely test Cooling Mode.

2112: Interior Cabinets and Shelving - Accessible

2113: Interior Fire Place 1 - Gas Log Fireplace

Missing grommet noted around gas line and should be repaired.

2116: Closets/ Interior Doors - Doors in Place

Front right bedroom bypass closet door rubs and should be repaired.

2117: Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied. It is recommended and required in some areas to have one smoke detector in each bedroom and one in hall within 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

2119: Stairways - With Hand Railings

Staple holes were noted and should be repaired.

2122: Windows - Operated

2nd floor hallway window does not lock and should be repaired. Right window at the dining room is tight and should be repaired. Right window at the family room was tight and should be repaired.

2123: GFCI Rest - Reset



## Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not expert in any specific field, and further evaluation are often needed. Qualified expert should be chosen carefully, and should be allowed to thoroughly inspect the entire property and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliance, roof, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should operate generally satisfactorily within the limit of its age and any defect or current problem noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any question related to the home or its maintenance for the time that you own the property. The "Whole Home Inspection" is conducted according to the standard set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might affect your decision whether to purchase. Unfortunately, we cannot take away all the risk of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observation only. The inspector may not move furniture and personal property or dismantle any appliance aside from removing cover on heater, electrical panel, etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observation of the apparent condition at the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor who is licensed to authorize the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defect or concern mentioned in this report. This report is not a warranty or guarantee, expressed or implied. There are warranty programs that may be obtained inure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the document provided with the warranty program carefully. Home buyer, after occupying the home, sometimes overlook important information and warnings contained in their report. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advice, and recommendation had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspector's report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in a fee-in-proposal offered by contractor for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.