



Reliable Home Inspection Service  
100 Old Kennet Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By:  
Francis Glynn H4-0000078 ASHI #253366 MD# 33646

Referral Information: [REDACTED]

Client Information: [REDACTED]  
[REDACTED]  
[REDACTED]

Inspected [REDACTED]

FRONT VIEW



# Inspection Summary

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## Major Defect

### EXTERIOR

#### 0309: Masonry Walls

Other= Faux stone.

Missing caulk joints noted on Faux stone. The entire exterior wall surfaces should be evaluated by a qualified contractor and all needed repairs should be made.





## Major Defect



## GARAGE

### 0814: Garage Doors

Other = Overhead doors not installed at time of inspection.



## Major Defect



## Safety Concern

### EXTERIOR

#### 0317: Glass

Cracked glass was noted and should be repaired.





## BASEMENT

### 1511: Basement Ceiling Joist Visible Primary Type

Missing hanger was noted and should be repaired. Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



# Safety Concern

## KITCHEN

### 1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

Front right burner did not lite properly and should be repaired.

Unit should be better attached to the counter top.



## GROUNDS

### 0207: Driveway/Parking Lot

Some cracks noted.

Low spot noted and should be repaired



## EXTERIOR

### 0301: EXTERIOR

Missing vent cover was noted and should be repaired.



## EXTERIOR

### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.

Form pins should be removed.





## EXTERIOR

### 0306: Soffit\Fascia

Poorly fitting section was noted and should be repaired.



## EXTERIOR

### 0313: Patio Doors

Poorly fitting basement door was noted. Door does not latch shut and should be repaired.  
Door should be better sealed.



## Service/Repair



### EXTERIOR

#### 0320: Caulking

Caulking should be improved.



## GUTTERS

### 0405: Downspout Type

Missing section was noted and should be repaired.



## ROOF

### 0505: Roof Covering Primary Type

Some scuffing and aggregate loss noted and should be monitored.

Nail heads should be sealed where exposed.

Nail holes were noted at roof edges and should be repaired.

Debris should be removed from the roof.





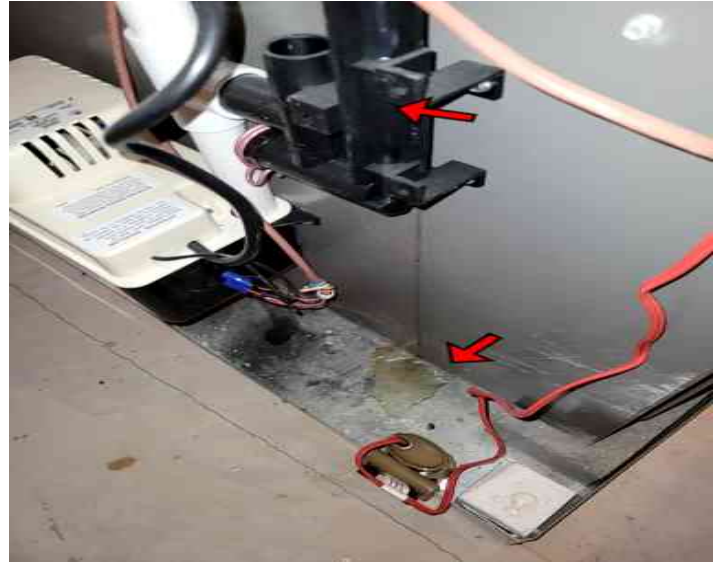
# Service/Repair



## COOLING

### 0709: Condensate Drain

Condensate line is leaking at unit 2 and should be repaired.



### 0716: Differential Temp 2

Return temp = 70      Supply temp = 57      Differential temp = 13  
Differential Temperature = 13. The unit is operating at bare minimum differential temperature and should be serviced before cooling season. 2nd floor unit.

## GARAGE

### 0813: Garage Floor

Some cracks were noted.





## Service/Repair

### FURNACE

#### 1311: Distribution System Material

Vent pipe should be better supported.



### FURNACE

#### 1313: Flue Piping

Intake pipe is disconnected and should be repaired.





## FURNACE

### 1317: Filter System

16x25x1

Filters should be replaced every three months. There was no filter installed at the time of the inspection.



## BASEMENT

### 1503: Basement Access

Damaged area was noted at the exterior steps and should be repaired. Poorly finished areas at the interior steps and should be repaired.



## Service/Repair



### BASEMENT

#### 1504: Basement Foundation Walls Primary Visible type

Some cracks and water penetration.

Daylight showing at the front and should be repaired.



## Service/Repair

### BASEMENT

#### 1506: Basement Floor

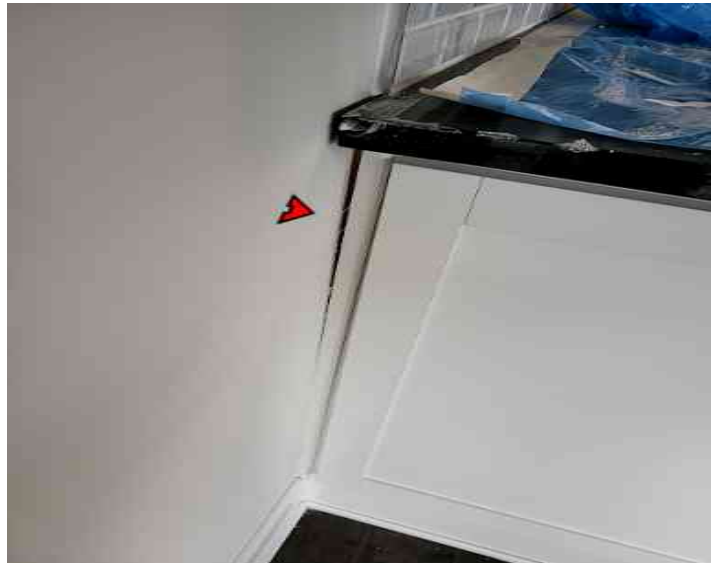
Unused drain was noted and should be capped.



### KITCHEN

#### 1708: Kitchen Cabinets

Gaps were noted at the left base cabinet and should be repaired.





## Service/Repair

### KITCHEN

#### 1717: Exhaust Fan Hood

Other = Vent was not installed at time of inspection.



### HALF BATH

#### 1805: Half Bath Walls and Ceilings

Poorly finished areas were noted.



## Service/Repair

### BATHROOM

#### 1902: Bathroom Doors, Windows

Missing cranks were noted and should be repaired.



### BATHROOM

#### 1905: Bathroom Walls and Ceilings

Poorly finished areas were noted and should be repaired.



## Service/Repair



### 1909: Bathroom Sink Stopper

Stopper should be adjusted at the master bathroom.

### 1912: Toilet Bowl and Tank

The toilet is loose at the base. Princess bathroom

The toilet is loose at the base in the master bath and should be repaired

## BATHROOM

### 1918: Tub Wall Encl.

A scratch was noted in the enclosure of hallway bathroom.

Top of the tub should be better sealed.





## Service/Repair



### 2104: Interior Walls

Typical drywall flaws were noted.  
Some poorly finished areas were noted.  
Repair work still in process.

## INTERIOR

### 2105: Interior Ceilings

Typical drywall flaws were noted.  
Some cracks were noted.  
Poorly finished areas of drywall were and should be repaired.  
Repair work still in process.



## Service/Repair

### INTERIOR

#### 2113: Interior Fire Place 1

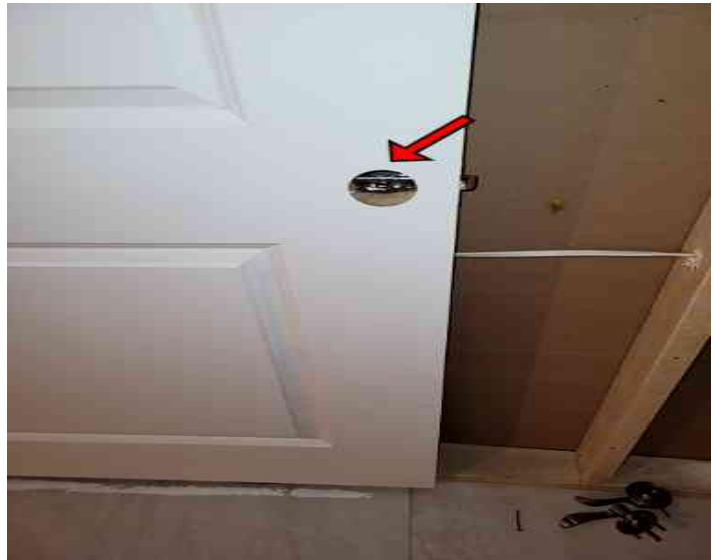
Poorly fitting trim work around the fireplace was noted and should be repaired.



### INTERIOR

#### 2116: Closets/ Interior Doors

Door handle is off at the basement and should be repaired.



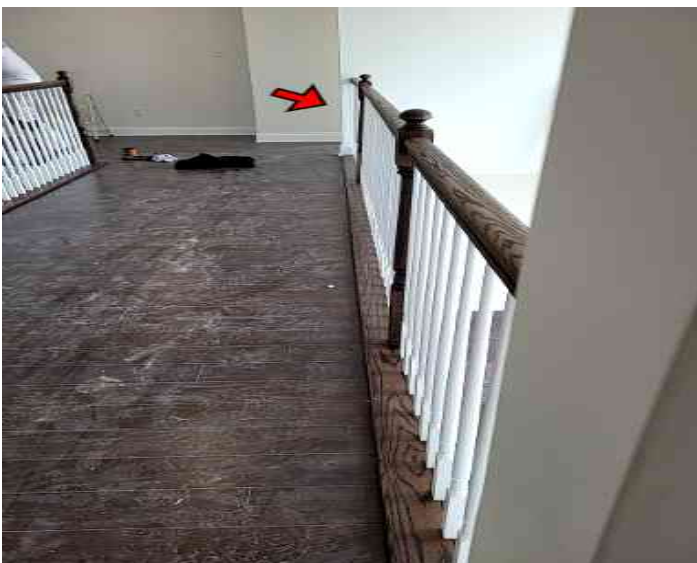
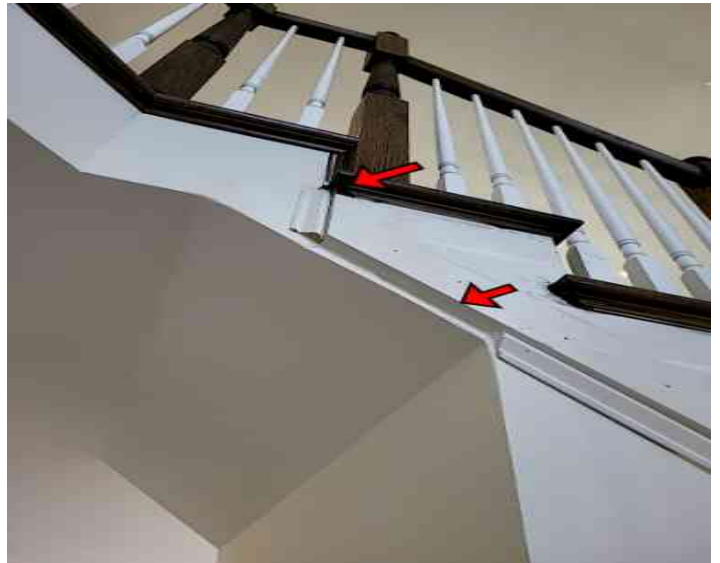
## INTERIOR

### 2119: Stairways

Unfinished areas were noted at the stairs and should be repaired.

Poorly installed railing noted and should be repaired.

Railings are bowed.





## Service/Repair

### INTERIOR

#### 2122: Windows

Front right bedroom window was tight to open.  
Master bedroom eight window is racked and should be repaired.



## Monitor/Maintain

### GROUNDS

#### 0202: Walks

Cracks and some settlement noted.

#### 0203: Steps

Cracks and some settlement noted.

#### 0307: Grading

Soil should be sloped away from house to improve drainage.

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

## Monitor/Maintain

### 0408: Splash Blocks

Better Splash blocks or run off drains should be added.

### 1017: Sewer Injector Pump

Rough in was noted.

### 1713: Garbage Disposal

Septic systems are often damaged by the use of disposals and the owner should be cautious in their use.

### 1720: Kitchen Wall Receptacles

GFCI reset is in the main panel

## Inspection Definition/Limitation

### PLUMBING

### 1008: Waste System

No test performed on septic system and is not a part of the home inspection.

### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

### 1201: LAUNDRY

No appliances were installed at time of inspection.

### 1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

### 1512: Basement Insulation Visible Primary Type

Insulation limits inspection.

### 1513: Basement Wall Finish

Inspection limited by finished areas.

# Inspection Definition/Limitation

## KITCHEN

### 1701: KITCHEN

Inspection limited.





## BATHROOM

### 1901: BATHROOM

Inspection limited due to debris.  
Master shower was not tested due to shower door installer on site at time of inspection and should be demonstrated.



### 2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

## INTERIOR

### 2101: INTERIOR ROOMS

Inspection of flooring was limited due to construction debris.



# Inspection Definition/Limitation

## 2201: Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.





# INSPECTION DEFINITIONS/LIMITATION

## Inspection Description/limitation

### DEFINITION/LIMITATION

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# Inspection Report Details

## GROUNDS

**Monitor/Maintain** 0202: Walks - Concrete

Cracks and some settlement noted.

**Monitor/Maintain** 0203: Steps - Concrete

Cracks and some settlement noted.

**Satisfactory** 0205: Porches - Concrete

**Service/Repair** 0207: Driveway/Parking Lot - Asphalt

Some cracks noted. Low spot noted and should be repaired

**Satisfactory** 0209: Hand Rail - Other

Other= vinyl

## EXTERIOR

**Service/Repair** 0301: EXTERIOR - General Comment

Missing vent cover was noted and should be repaired.

**Satisfactory** 0302: Outside Outlets - Tested

**Satisfactory** 0303: Type of Building - Frame, 2 Story

**Service/Repair** 0304: Exposed Foundation Primary Visible Type - Poured Concrete

Some cracks noted. Form pins should be removed.

**Service/Repair** 0306: Soffit\Fascia - Aluminum

Poorly fitting section was noted and should be repaired.

**Monitor/Maintain** 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

**Satisfactory** 0308: Siding - Vinyl

**Major Defect** 0309: Masonry Walls - Other

Other= Faux stone. Missing caulk joints noted on Faux stone. The entire exterior wall surfaces should be evaluated by a qualified contractor and all needed repairs should be made.

## EXTERIOR

Satisfactory 0310: Trim Work - Vinyl

Satisfactory 0311: Entry Doors - Metal

**Service/Repair** 0313: Patio Doors - Sliding, French

Poorly fitting basement door was noted. Door does not latch shut and should be repaired. Door should be better sealed.

Satisfactory 0314: Window Character Material - Vinyl

Satisfactory 0315: Window Character Type - Double Hung, Fixed

**Safety Concern** 0317: Glass - Insulated

Cracked glass was noted and should be repaired.

Satisfactory 0318: Windows Storm\Screen - MFG Screens

Satisfactory 0319: Weather Stripping - Fiber\Felt

**Service/Repair** 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

## GUTTERS

Satisfactory 0402: Inspected From - Ground, Roof

Satisfactory 0403: Access Restricted - Not Restricted

**Monitor/Maintain** 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

**Service/Repair** 0405: Downspout Type - Aluminum

Missing section was noted and should be repaired.

Satisfactory 0406: Sealed Downspouts - None

**Monitor/Maintain** 0408: Splash Blocks - Plastic

Better Splash blocks or run off drains should be added.

## ROOF

Satisfactory 0502: How Inspected - Walk on Roof

Satisfactory 0503: Roof Access Restricted - Not Restricted



## ROOF

Satisfactory 0504: Roof Style - Gable

**Service/Repair** 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

Some scuffing and aggregate loss noted and should be monitored. Nail heads should be sealed where exposed. Nail holes were noted at roof edges and should be repaired. Debris should be removed from the roof.

Satisfactory 0506: Approx. Age - 1 thru 5

Satisfactory 0507: Number of Layers - 1

Satisfactory 0508: Roof Ventilation System - Ridge, Soffit

Satisfactory 0509: Flashing - Aluminum

Satisfactory 0510: Valleys - Asphalt

Satisfactory 0511: Plumbing Vents - PVC

## COOLING

Satisfactory 0702: Cooling System 1 Brand - Lennox

Satisfactory 0703: Cooling System 1 Tonnage - 2.5 Ton

Satisfactory 0704: Cooling System 1 Approx. Age - 1

Satisfactory 0705: Heat Pump - Air to Air

Satisfactory 0706: Cooling System Coils and Fins - Clean

Satisfactory 0707: Cooling System Electrical - Ext. Disconnect

Satisfactory 0708: Cooling Lines - Insulation

**Service/Repair** 0709: Condensate Drain - Plastic

Condensate line is leaking at unit 2 and should be repaired.

Satisfactory 0711: Differential Temp 1 - Details

Return temp = 70 Supply temp = 50 Differential Temp = 20

Satisfactory 0713: Cooling System 2 Brand - Lennox

Satisfactory 0714: Cooling System 2 Approx. Age - 1

Satisfactory 0715: Cooling System 2 Tonnage - 3 Ton

**Service/Repair** 0716: Differential Temp 2 - Details

## COOLING

Return temp = 70 Supply temp = 57 Differential temp = 13 Differential Temperature = 13. The unit is operating at bare minimum differential temperature and should be serviced before cooling season. 2nd floor unit.

## GARAGE

|                |   |
|----------------|---|
| Satisfactory   | 0802: Garage Type - 3 Car Attached              |
| Satisfactory   | 0803: Garage Exterior Walls - Same as House     |
| Satisfactory   | 0806: Garage Windows - Vinyl                    |
| Satisfactory   | 0809: Garage Electrical System - GFCI, Lighting |
| Satisfactory   | 0811: Garage Interior Walls - Drywall\Plaster   |
| Satisfactory   | 0812: Garage Interior Ceiling - Drywall\Plaster |
| Service/Repair | 0813: Garage Floor - Concrete                   |

Some cracks were noted.

|              |                            |
|--------------|----------------------------|
| Major Defect | 0814: Garage Doors - Other |
|--------------|----------------------------|

Other = Overhead doors not installed at time of inspection.

## ELECTRIC

|              |  |
|--------------|--|
| Satisfactory | 0902: Main Electrical Service - Underground Lateral Cable        |
| Satisfactory | 0903: Main Electrical Service Wire - Aluminum                    |
| Satisfactory | 0905: Voltage Available - 110 / 220                              |
| Satisfactory | 0906: Main Electrical Distribution Panel Accessibility - Typical |
| Satisfactory | 0907: Main Electrical Distribution Panel Location - Basement     |
| Satisfactory | 0908: Main Electrical Disconnect - Breaker                       |
| Satisfactory | 0909: Main Panel - 200   |
| Satisfactory | 0911: Interior Wiring Visible Primary Type - Copper 90 percent   |
| Satisfactory | 0912: Type of Wire Visible Primary Type - Romex                  |
| Satisfactory | 0913: Grounding - Driven Rod                                     |

## ELECTRIC

|              |  |
|--------------|--|
| Satisfactory | 0914: Breakers in Use - Room for Expansion                   |
| Satisfactory | 0917: Inspection Sticker - Main Panel                        |
| Satisfactory | 0918: Panel Schedule Filled in - Filled Out                  |
| Satisfactory | 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted |

## PLUMBING

|                                     |   |
|-------------------------------------|---|
| Satisfactory                        | 1002: Water Source - Municipal                        |
| Satisfactory                        | 1003: Municipal Main Supply Size - 3/4                |
| Satisfactory                        | 1004: Municipal Main Supply Type - Plastic            |
| Satisfactory                        | 1005: Main Water Shut Off - Basement                  |
| Satisfactory                        | 1006: Main Gas Valve - Outside                        |
| Satisfactory                        | 1007: Interior Water Pipes Primary Visible Type - PEX |
| Inspection<br>Definition/Limitation | 1008: Waste System - Private Septic                   |

No test performed on septic system and is not a part of the home inspection.

|                                     |  |
|-------------------------------------|--|
| Inspection<br>Definition/Limitation | 1009: Interior Waste/Vent Pipes Primary Visible Type - PVC |
|-------------------------------------|--|

Most piping concealed supply and drain.

|                  |  |
|------------------|--|
| Satisfactory     | 1010: Number of Outside Spigots - 2        |
| Satisfactory     | 1011: Type of Outside Spigots - Frost Free |
| Monitor/Maintain | 1017: Sewer Injector Pump - Other          |

Rough in was noted.

## W. HEATER

|              |   |
|--------------|---|
| Satisfactory | 1103: Water Heater 1 Mfg. - Bradford White        |
| Satisfactory | 1104: Water Heater 1 Rated BTU Per Hour - 75,000+ |
| Satisfactory | 1105: Water Heater 1 Approx. Age - 1              |
| Satisfactory | 1106: Water Heater 1 Size - 75                    |

## W. HEATER

|              |  |
|--------------|--|
| Satisfactory | 1107: Water Heater Fuel - L.P.                       |
| Satisfactory | 1108: Water Heater Flue Pipe - PVC                   |
| Satisfactory | 1109: Water Heater Gas Piping - Valve On Off         |
| Satisfactory | 1110: Water Heater Cold Water Valve - Present        |
| Satisfactory | 1111: Temp. Pressure Relief Valve and Pipe - Present |
| Satisfactory | 1113: Water Heater Exterior Jacket - OK              |

## LAUNDRY

**Inspection  
Definition/Limitation** 1201: LAUNDRY - General Comment

No appliances were installed at time of inspection.

|              |  |
|--------------|--|
| Satisfactory | 1203: Laundry Sink - Plastic               |
| Satisfactory | 1204: Laundry Sink Faucets - Tested        |
| Satisfactory | 1205: Laundry Sink Drain Trap - PVC        |
| Satisfactory | 1206: Laundry Water Faucets - Gate Type    |
| Satisfactory | 1207: Washer Drains - Trapped Line         |
| Satisfactory | 1208: Dryer Vented - Wall                  |
| Satisfactory | 1209: Laundry Energy Source - 220 Electric |

## FURNACE

|   |   |
|---|---|
| Satisfactory                                | 1302: Forced Air System 1 Mfg. - Lennox         |
| Satisfactory                                | 1303: Forced Air System 1 BTU Per Hour - 60,000 |
| Satisfactory                                | 1304: Forced Air System 1 Approx. Age - 1       |
| Satisfactory                                | 1305: Forced Air System Energy Source - Gas LP  |
| Satisfactory                                | 1306: Hot Air System - Direct Drive             |
| Satisfactory                                | 1307: Heat Exchanger Flame Pattern - Pass       |
| <b>Inspection<br/>Definition/Limitation</b> | 1308: Heat Exchanger Visual - Pass              |



## FURNACE

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

1310: Distribution System Type - Up Flow

1311: Distribution System Material - Metal Duct

Vent pipe should be better supported.

1312: Thermostat - Single and Multi

1313: Flue Piping - PVC

Intake pipe is disconnected and should be repaired.

1314: Forced Air System 2 Mfg. - Lennox

1315: Forced Air System 2 Approx. Age - 1

1316: Forced Air System 2 BTU Per Hour - 60,000+

1317: Filter System - Disposable

16x25x1 Filters should be replaced every three months. There was no filter installed at the time of the inspection.

## BASEMENT

1502: Basement Type - Full Basement

1503: Basement Access - Interior Stairs, Exterior Stairs

Damaged area was noted at the exterior steps and should be repaired. Poorly finished areas at the interior steps and should be repaired.

1504: Basement Foundation Walls Primary Visible type - Poured Concrete

Some cracks and water penetration. Daylight showing at the front and should be repaired.

1505: Foundation Anchors - Anchor Bolts

1506: Basement Floor - Cement, Carpet On Slab

Unused drain was noted and should be capped.

1508: Basement Structural Columns Visible Primary Type - Steel

## BASEMENT

1509: Basement Structural Beams Visible Primary Type - Steel

1510: Basement Ceiling Sub Floor Visible Primary Type - Particle BD.

1511: Basement Ceiling Joist Visible Primary Type - Conventional

Missing hanger was noted and should be repaired. Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

1512: Basement Insulation Visible Primary Type - Sill Plates, Perimeter Walls

Insulation limits inspection.

1513: Basement Wall Finish - Partially Finished

Inspection limited by finished areas.

1514: Basement Drainage - Sump Pump

## KITCHEN

1701: KITCHEN - General Comment

Inspection limited.

1702: Kitchen Walls - Drywall, Tile

1703: Kitchen Ceiling - Drywall

1704: Kitchen Floors - Wood

1705: Kitchen Heating Source - Central

1706: Kitchen Cooling Source - Central

1707: Kitchen Doors Windows - Tested

1708: Kitchen Cabinets - Custom Wood

Gaps were noted at the left base cabinet and should be repaired.

1709: Kitchen Sink - Stainless

1710: Kitchen Sink Faucet - Single Lever

## KITCHEN

1712: Kitchen Drain and Trap - PVC

1713: Garbage Disposal - Continuous Feed

Septic systems are often damaged by the use of disposals and the owner should be cautious in their use.

1714: Dishwasher Approx. Age - 1/5

1715: Dishwasher Mfg. - GE

1717: Exhaust Fan Hood - Other

Other = Vent was not installed at time of inspection.

1718: Range Oven - Drop In

Self cleaning if on stove not part of inspection and will not be tested. Front right burner did not lite properly and should be repaired. Unit should be better attached to the counter top.

1719: Surface Cooktop - Gas

1720: Kitchen Wall Receptacles - GFI Protected

GFCI reset is in the main panel

1721: Kitchen Switches Fixtures - Recessed

## HALF BATH

1802: Half Bath Doors and Windows - Door/ Lock

1803: Half Bath Electric Switches and Fixtures - Wall

1804: Half Bath Receptacles - GFCI

1805: Half Bath Walls and Ceilings - Drywall

Poorly finished areas were noted.

1807: Half Bath Heating and Cooling - Central

1808: Half Bath Sink Faucets - Individual

1809: Half Bath Sink Stopper - Push Pull

1810: Half Bath Sink Basin - Porcelain

1811: Half Bath Sink Drain and Trap - PVC

## HALF BATH

|              |   |
|--------------|---|
| Satisfactory | 1812: Toilet Bowl and Tank - 2 Piece              |
| Satisfactory | 1813: Toilet Operation - Flushes, Drains, Refills |
| Satisfactory | 1814: Half Bath Ventilation - Fan                 |
| Satisfactory | 1815: Half Bath Floor - Wood                      |
| Satisfactory | 1816: Number of Half Baths - 1                    |

## BATHROOM

**Inspection  
Definition/Limitation** 1901: BATHROOM - General Comment

Inspection limited due to debris. Master shower was not tested due to shower door installer on site at time of inspection and should be demonstrated.

**Service/Repair** 1902: Bathroom Doors, Windows - Door/ Lock

Missing cranks were noted and should be repaired.

Satisfactory 1903: Bathroom Electric Switches and Fixtures - Ceiling

Satisfactory 1904: Bathroom Receptacles - GFCI

**Service/Repair** 1905: Bathroom Walls and Ceilings - Drywall

Poorly finished areas were noted and should be repaired.

Satisfactory 1907: Bathroom Heating Cooling - Central Sys

Satisfactory 1908: Bathroom Sink Faucets - Individual

**Service/Repair** 1909: Bathroom Sink Stopper - Push Pull

Stopper should be adjusted at the master bathroom.

Satisfactory 1910: Bathroom Sink Basin - Cast Marble

Satisfactory 1911: Bathroom Sink Drain and Trap - PVC

**Service/Repair** 1912: Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base. Princess bathroom The toilet is loose at the base in the master bath and should be repaired

Satisfactory 1913: Toilet Operation - Flushes, Drains, Refills

Satisfactory 1914: Bathtub Faucets - Single Lever



## BATHROOM

|                |  |
|----------------|--|
| Satisfactory   | 1915: Bathtub Stopper - Pop Up             |
| Satisfactory   | 1916: Bath Showerhead - Standard           |
| Satisfactory   | 1917: Seal Around Tub - 1 Piece Shower Tub |
| Service/Repair | 1918: Tub Wall Encl. - Fiberglass          |

A scratch was noted in the enclosure of hallway bathroom. Top of the tub should be better sealed.

|              |   |
|--------------|---|
| Satisfactory | 1919: Bathroom Ventilation - Fan            |
| Satisfactory | 1920: Bathroom Floor - Ceramic              |
| Satisfactory | 1921: Shower Stall Walls - Ceramic Tile     |
| Satisfactory | 1922: Shower Drain - Tub, Floor Drain Stall |
| Satisfactory | 1923: Shower Faucets - Single Lever         |
| Satisfactory | 1924: Number of Full Baths - 3              |

## ATTIC

|                                     |   |
|-------------------------------------|---|
| Inspection<br>Definition/Limitation | 2002: Attic Accessibility - Access restricted |
|-------------------------------------|---|

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

|              |  |
|--------------|--|
| Satisfactory | 2003: Attic Entry Access - Hatch                             |
| Satisfactory | 2004: Attic Access Location - Closet                         |
| Satisfactory | 2005: Attic Structural Framing Type - Trusses                |
| Satisfactory | 2006: Attic Structural Framing Spacing - 24 inches on Center |
| Satisfactory | 2007: Attic Sheathing - Particle Board                       |
| Satisfactory | 2008: Attic Floor Insulation - Loose Fill, Batt              |
| Satisfactory | 2009: Attic Insulation Thickness - 10 inches                 |
| Satisfactory | 2010: Attic Insulation Approx. R. Value - 30                 |
| Satisfactory | 2011: Attic Ventilation - Ridge, Soffit                      |
| Satisfactory | 2012: Attic Wiring - Covered with Insulation                 |

## ATTIC

**Satisfactory** 2013: Attic Vent Pipes - Vented Outside

**Satisfactory** 2014: Attic Exhaust - Vents Outside

## INTERIOR

**Inspection  
Definition/Limitation** 2101: INTERIOR ROOMS - General Comment

Inspection of flooring was limited due to construction debris.

**Satisfactory** 2103: Number of Bedrooms - 4

**Service/Repair** 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted. Some poorly finished areas were noted. Repair work still in process.

**Service/Repair** 2105: Interior Ceilings - Dry Wall

Typical drywall flaws were noted. Some cracks were noted. Poorly finished areas of drywall were and should be repaired. Repair work still in process.

**Satisfactory** 2106: Interior Floors - Wood, Tile, Carpet

**Satisfactory** 2110: Interior Heat Source - Tested

**Satisfactory** 2111: Interior Cooling Source - Tested

**Satisfactory** 2112: Interior Cabinets and Shelving - Accessible

**Service/Repair** 2113: Interior Fire Place 1 - Gas Log Fireplace

Poorly fitting trim work around the fireplace was noted and should be repaired.

**Service/Repair** 2116: Closets/ Interior Doors - Doors in Place

Door handle is off at the basement and should be repaired.

**Satisfactory** 2117: Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied. Its recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

**Service/Repair** 2119: Stairways - With Hand Railings

## INTERIOR

Unfinished areas were noted at the stairs and should be repaired. Poorly installed railing noted and should be repaired. Railings are bowed.

**Service/Repair** 2122: Windows - Operated

Front right bedroom window was tight to open. Master bedroom eight window is racked and should be repaired.

**Satisfactory** 2123: GFCI Rest - Reset

## Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.