



Reliable Home Inspection Service
100 Old Kennett Rd
Wilmington, DE 19807
302-993-9100
<https://www.reliablehomeinspectionsservice.com/>

Printed Friday, [REDACTED]

Inspected By:
Francis Glynn H4-0000078 ASHI #253366 MD# 33646

Referral Information: [REDACTED]

Client Information: Record Number [REDACTED]
[REDACTED]
[REDACTED]

Inspected Friday, [REDACTED]

FRONT VIEW



Inspection Summary

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Major Defect

GROUNDS

0206: Porches

Some loose paint and rot noted.

Evidence of on going leaking was noted at the front right corner of the front porch. The entire porch system should be evaluated and all needed repairs should be made.



Major Defect



EXTERIOR

0313: Patio Doors

Rotted fixed door at the right side and should be evaluated and repaired.
The door sticks to open.



Major Defect

GARAGE

0803: Garage Exterior Walls

Rotted areas were noted.

All exterior wood should be evaluated and all needed repairs should be made.



Major Defect

BOILER

1401: BOILER

It appears the unit is short cycling at the time of inspection and the entire system should be evaluated and repaired.

Unit should be cleaned and serviced.



BASEMENT

1511: Basement Ceiling Joist Visible Primary Type

Wood boring insect damage was evident. It should be evaluated by a qualified pest control contractor and a structural engineer to determine extend of damage and make any repairs or treatments as required.

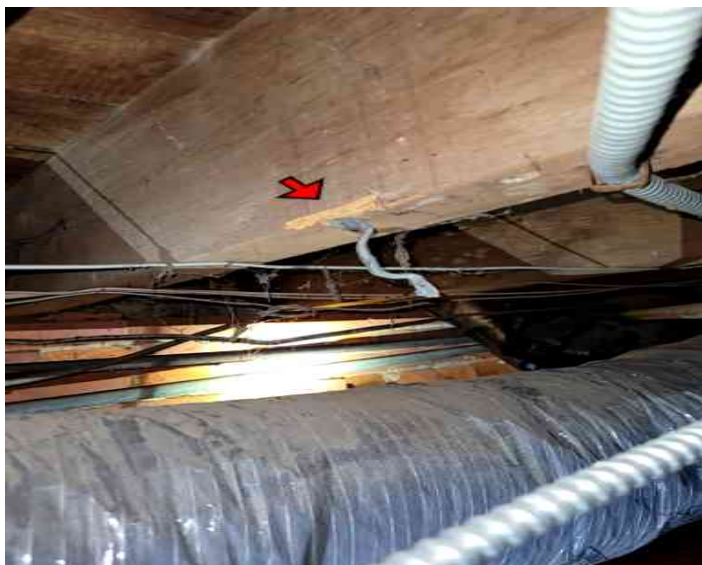
Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



CRAWL SPACE

1609: Crawl Space Ceiling Joist

Termite tubes and some termite damage were noted and should be evaluated by structural contractor or engineer and all needed repairs should be made. Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair. Wood boring insect damage was evident. It should be evaluated by a qualified pest control contractor and a structural engineer to determine extend of damage and make any repairs or treatments as required.



Major Defect



KITCHEN

1719: Surface Cooktop

Stove was not not tested due to breaker being off. It appears the unit is not functional due to corrosion. Burns have been removed. The built in vent system vents into the basement and should be to the exterior.



Major Defect

BATHROOM

1923: Shower Faucets

Master shower stall was not operational at time of inspection and should be evaluated and demonstrated prior to settlement.



INTERIOR

2113: Interior Fire Place 1

Gas valve was off and the fireplace was not tested. Operation should be demonstrated before settlement. All fireplaces.



Major Defect



Cracks at the hearth was noted.

INTERIOR

2114: Interior Fire Place 2

Cracks and missing areas of parging was noted at the front left room and the chimney system should be evaluated and all needed repairs should be made. Damper is damaged and would not close and should be repaired.



Major Defect

INTERIOR

2120: Ceiling Fan



Middle ceiling fan wobbles at the rear great room and should be repaired.



3rd floor front left bedroom front ceiling fan did not work and should be evaluated and repaired.

Major Defect

INTERIOR

2122: Windows

Some windows could not be tested due to being painted shut.

Damaged balances were noted to the windows that were operational.

All windows should be evaluated and operational prior to settlement.



Damaged balance stairway of the kitchen 2nd floor.



3rd floor front bedroom left window has cracked glass and does not close properly and should be repaired.



Major Defect



3rd floor front left bedroom side window does not close and should be repaired.

Safety Concern

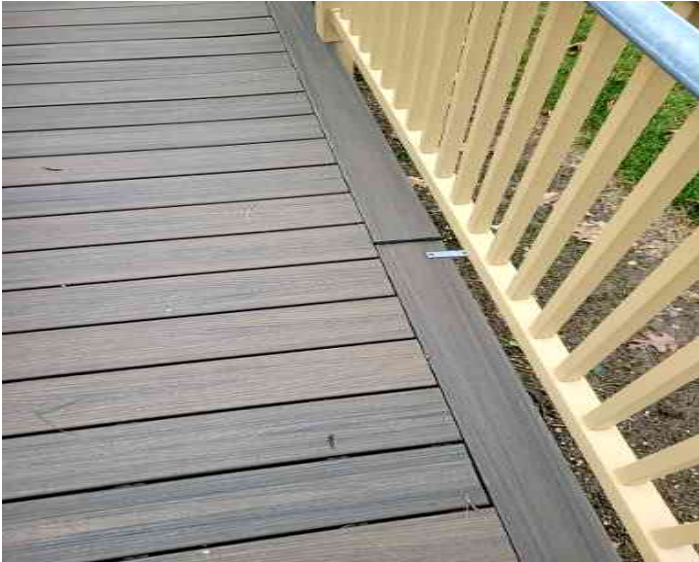
GROUNDS

0203: Walks

Missing mortar was noted and should be repaired.
Other = Ramp.
Loose fitting deck boards were noted and should be repaired.



Safety Concern



Loose brick at the rear and should be repaired.



Missing screws at the railing bracket and should be repaired.

Safety Concern

GROUNDS

0204: Steps

Uneven areas present a tripping hazard and should be repaired.



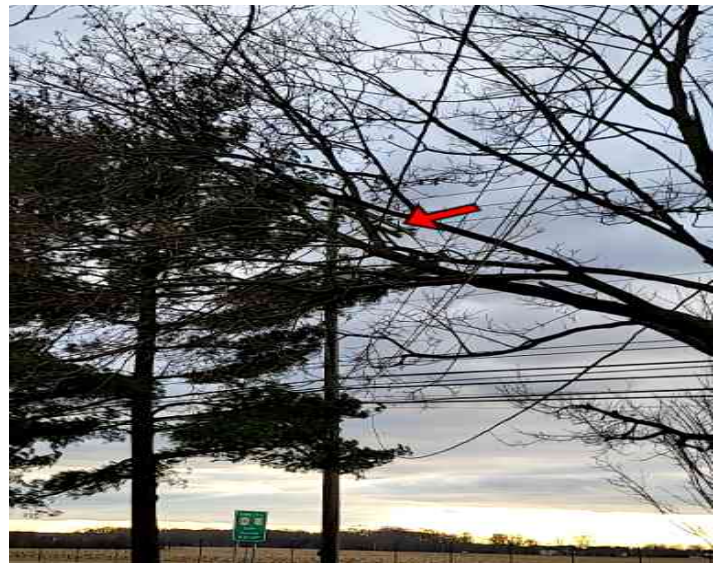
0302: Outside Outlets

Some outside lights did not work and should be evaluated and repaired.

ELECTRIC

0902: Main Electrical Service

Tree limbs should be cut back from service cable line by a qualified contractor.



0912: Type of Wire Visable Primary Type

Older wiring system noted If cloth insulation should be monitored and recommend upgrade.

Safety Concern

ELECTRIC

0919: Electrical Defaults

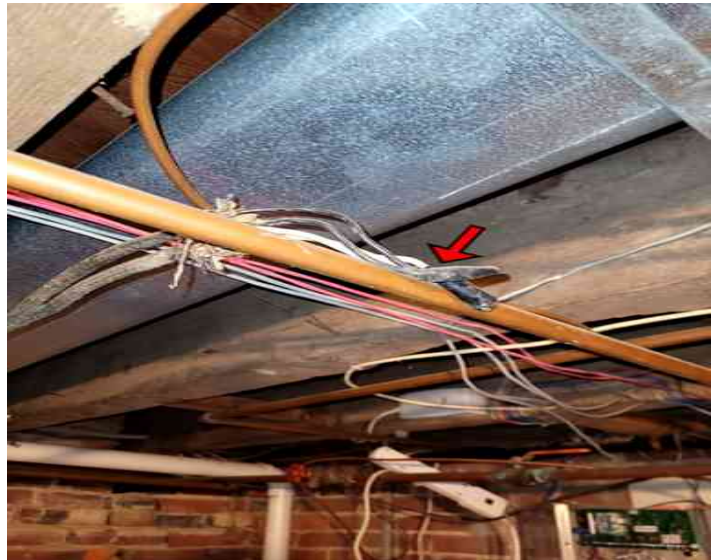
No switch at the 3rd floor front right bedroom.



Basement junction box should be covered.



Hot exposed wiring left of water heater and should be made safe.



Hot exposed wiring noted in the basement and should be made safe.

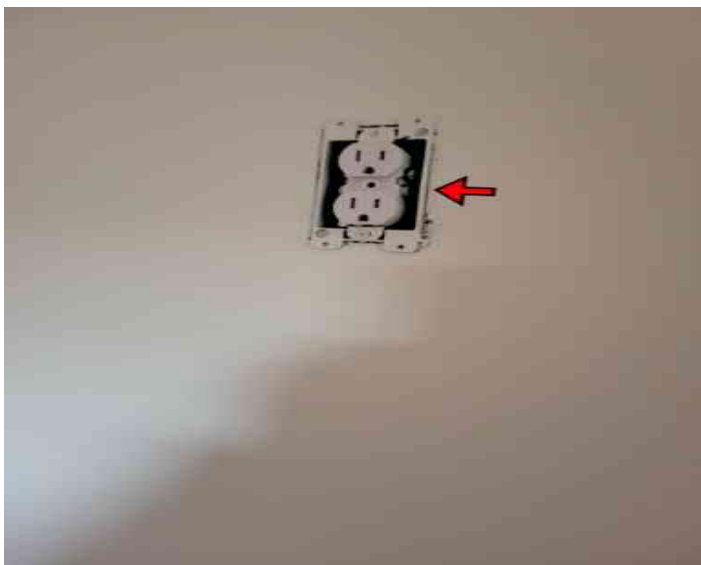
Safety Concern



Missing light fixture at the 2nd floor hallway and should be repaired.



Missing light fixture was noted at the side porch entryway and should be repaired.



Missing outlet cover at the 3rd floor rear left bedroom.



2nd floor middle bedroom light did not work when tested and should be evaluated and repaired

Safety Concern



Rot was noted a the wood behind the electrical panels and should be repaired as needed.

BASEMENT

1503: Basement Access

Other =Bilco doors

There was no hand rail noted in basement and one should be installed.



Safety Concern

KITCHEN

1713: Garbage Disposal

Other = There was a hot, unused wire noted under cabinet which should be made safe.



BATHROOM

1903: Bathroom Electric Switches and Fixtures



Missing cover plate at the 2nd floor hallway bathroom.

INTERIOR

2104: Interior Walls

Typical plaster/ drywall flaws noted.

Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



2117: Smoke Detectors

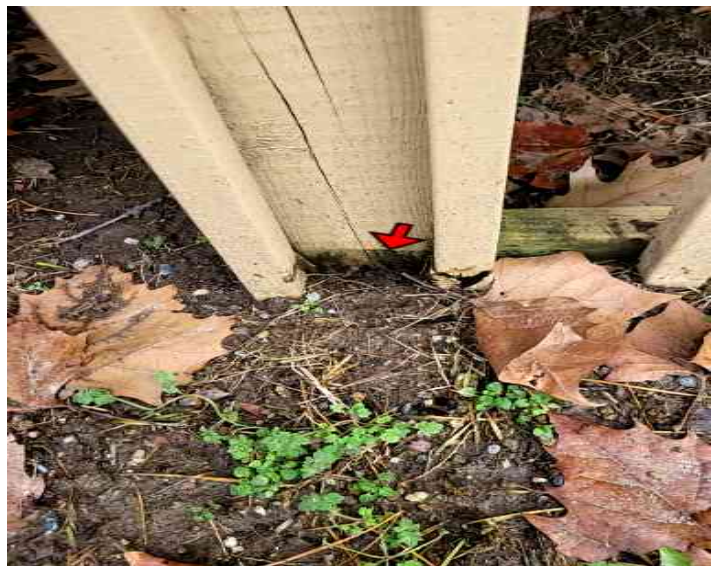
Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

GROUNDS

0207: Decks



Loose boards at the transition from ramp to deck and should be repaired.



Some rot was noted at the support post and should be repaired.

EXTERIOR

0306: Soffit\Fascia

Some loose paint and wood rot noted.



Loose fitting metal at the roof line and should be repaired.

EXTERIOR

0309: Masonry Walls

Some cracks and missing mortar was noted and should be repaired.

Cracks were noted at the rear wall of stucco and should be repaired.





EXTERIOR

0314: Window Character Material

Some loose paint and wood rot noted.



0318: Windows Storm\Screen

Some damaged screens

GUTTERS

0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage. Often wood rot will be inside framing in this type of system and may not be visible and should be monitored for leakage.

The gutters have debris in them and should be cleaned.



GUTTERS

0405: Downspout Type

Disconnected down spout noted and should be repaired.

A missing downspout shoe was noted and should be installed.



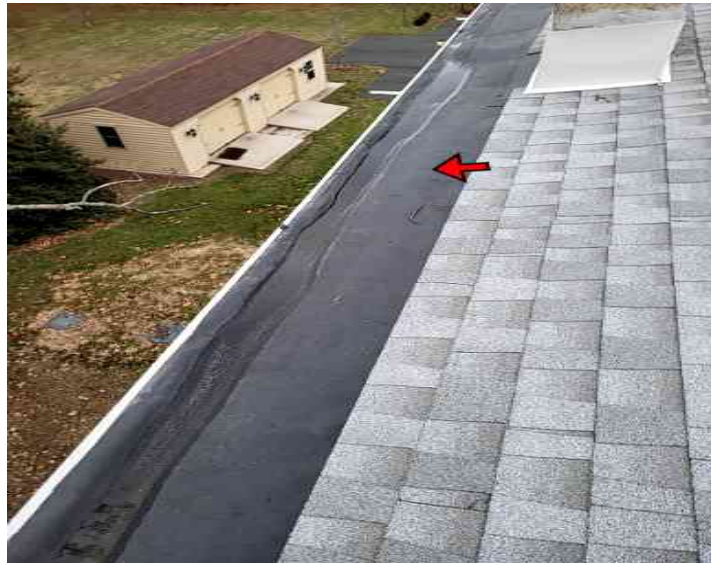
ROOF

0505: Roof Covering Primary Type

Metal roofs are not walked as part of home inspection due to possible damage to roofing.

Low or ponding areas on flat roofs shorten the life of the roofing felt and can cause rot to the underlying structure. Ideally, ponding roofs should be rebuilt to avoid the concentration of water.

Some scuffing and aggregate loss noted and should be monitored.



CHIMNEY

0604: Chimney 1 Type

Some cracks were noted and should be repaired.



CHIMNEY

0609: Chimney Top

Some cracks noted in chimney top.



COOLING

0706: Cooling System Coils and Fins

Damaged fins noted.
Some rust was noted on casings.



COOLING

0708: Cooling Lines

The insulation should be improved.





GARAGE

0807: Garage Roof Framing Style

Metal roofs are not walked on.



Poorly fitting section was noted at the left hip and should be repaired.

0918: Panel Schedule Filled in

Panel schedule Should be completed.

PLUMBING

1011: Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year. Leakage was noted at the right side hose and should be repaired.



FURNACE

1311: Distribution System Material

Rust noted at the basement unit bottom cabinet.



BASEMENT

1504: Basement Foundation Walls Primary Visable type

Some cracks and water penetration noted. Older style foundation and should be monitored.
There was efflorescence on the walls.
There were some areas of loose parging and water penetration.



Missing mortar was noted and should be repaired.



BASEMENT

1506: Basement Floor

Other = Brick

Some mud stains were noted and indicate water entry.



CRAWL SPACE

1603: Crawl Space Access

Opening at the hatch under the deck should be sealed to prevent rodents from entering.



CRAWL SPACE

1604: Crawl Space Foundation Walls

Some cracks and water penetration noted.
Missing mortar was noted and should be repaired.



1610: Crawl Space Insulation

Insulation limits inspection.
Some insulation has fallen and should be replaced.
Insulation is installed upside down and should be repaired.



1612: Crawl Space Floor Vapor Barrier

Recommend vapor Barrier Be installed.



1707: Kitchen Doors Windows

Some windows painted shut and could not be tested.

1708: Kitchen Cabinets

Dry wall screws should be replaced with proper screws.

1811: Half Bath Sink Drain and Trap

The drain is slow and should be repaired.



1812: Toilet Bowl and Tank

The toilet is loose at the base and should be repaired.

1814: Half Bath Ventilation

Other = Vent was not installed and should be repaired.

1902: Bathroom Doors, Windows

2nd floor hallway bathroom window is painted shut and missing the lock and should be repaired.



1905: Bathroom Walls and Ceilings

Some cracks were noted.



1908: Bathroom Sink Faucets



Cold valve leaks at the master bathroom sink and should be repaired.

1916: Bath Showerhead



Low water pressure was noted at the 2nd floor hallway bathroom shower and should be repaired.

1919: Bathroom Ventilation

Fan is loose from the ceiling at the master bathroom and should be repaired.



2009: Attic Insulation Thickness

Very little insulation installed and suggest adding more R-30 is suggested.

2105: Interior Ceilings

Typical plaster/ drywall flaws noted.
Loose paint was noted at the rear 1st floor great room.



2116: Closets/ Interior Doors

Some doors would not close properly and should be repaired.

0208: Driveway/Parking Lot

Some cracks noted.

0304: Exposed Foundation Primary Visable Type

Some cracks noted.

0307: Grading

Soil should be sloped away from house to improve drainage.

0310: Trim Work

Some loose paint and wood rot noted.

0320: Caulking

Caulking should be improved.

0408: Splash Blocks

Splash blocks or run off drains should be added.

0704: Cooling System 1 Approx. Age

Unit very old and extended life should not be expected.

0714: Cooling System 2 Approx. Age

Unit nearing the end of its expected life.

0804: Garage Fascia\Soffit

Some loose paint and wood rot noted.

1007: Interior Water Pipes Primaray Visible Type

Some discoloration was noted.



1304: Forced Air System 1 Approx. Age

Unit is very old and extended life should not be expected.

2007: Attic Sheathing

Some evidence of leakage but not wet at the time of the inspection.





0407: Runoff Drains

Location and condition of underground drains unknown.

0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0702: Cooling System 1 Brand

Tag on unit either damaged or missing. All information in this section assumed.



0711: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

0713: Cooling System 2 Brand

Damaged tag and information is unknown.



0716: Differential Temp 2

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

0718: Cooling Unit 3

Brand = York Age = 15+ Unit very old and extended life should not be expected.

Tonnage = 2.5

The outside temperature was too low for the unit to be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, so the unit was not tested at time of inspection.

1001: PLUMBING

Filtration/Water treatment systems not part of the home inspection.



1008: Waste System

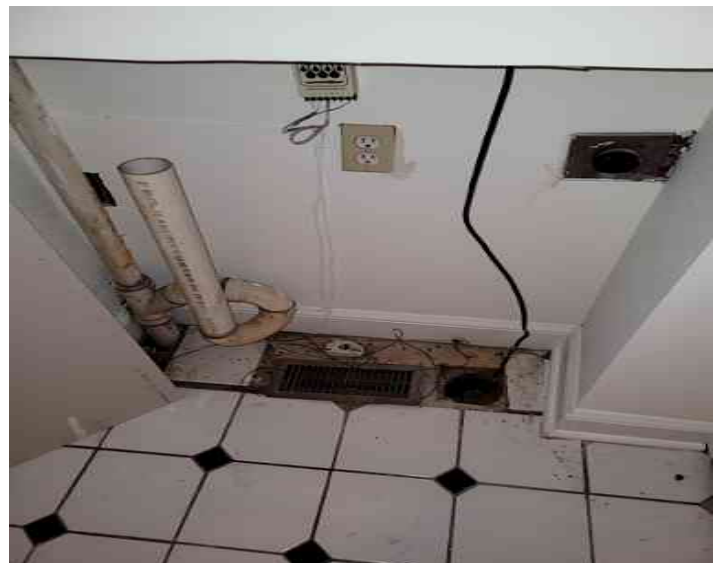
No test performed on septic system and is not a part of the home inspection.

1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

1201: LAUNDRY

Supply line has been removed. Trapped drain line has been disconnected. Dryer vent has been disconnected. Laundry area is not functional.



1301: FURNACE

3rd unit.
The Unico system. Electronic heater. Age unknown.

1715: Dishwasher Mfg.

Other= Not installed at time of inspection.



1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.

2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

2014: Attic Exhaust

Other = Not visible.

2111: Interior Cooling Source

The outside temperature was to low to safely test Cooling Mode.

2201: Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.

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Inspection Report Details

GROUNDS

Safety Concern 0203: Walks - Brick, Other, Stepping Stones

Missing mortar was noted and should be repaired. Other = Ramp. Loose fitting deck boards were noted and should be repaired.

Safety Concern 0204: Steps - Brick

Uneven areas present a tripping hazard and should be repaired.

Major Defect 0206: Porches - Wood and Concrete, Wood and Brick

Some loose paint and rot noted. Evidence of on going leaking was noted at the front right corner of the front porch. The entire porch system should be evaluated and all needed repairs should be made.

Service/Repair 0207: Decks - Man made decking with Pressure Sub-framing

Monitor/Maintain 0208: Driveway/Parking Lot - Asphalt, Brick

Some cracks noted.

Satisfactory 0210: Hand Rail - Steel, Other

Other= Vinyl

EXTERIOR

Safety Concern 0302: Outside Outlets - Not Tested, Tested

Some outside lights did not work and should be evaluated and repaired.

Satisfactory 0303: Type of Building - Frame, Tri Level

Monitor/Maintain 0304: Exposed Foundation Primary Visable Type - Stone

Some cracks noted.

Service/Repair 0306: Soffit\Fascia - Wood

Some loose paint and wood rot noted.

Monitor/Maintain 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Service/Repair 0309: Masonry Walls - Brick, Stucco

EXTERIOR

Some cracks and missing mortar was noted and should be repaired. Cracks were noted at the rear wall of stucco and should be repaired.

Monitor/Maintain 0310: Trim Work - Wood

Some loose paint and wood rot noted.

Satisfactory 0311: Entry Doors - Wood Solid Core

Satisfactory 0312: Storm Doors - Aluminum

Major Defect 0313: Patio Doors - French

Rotted fixed door at the right side and should be evaluated and repaired. The door sticks to open.

Service/Repair 0314: Window Character Material - Wood

Some loose paint and wood rot noted.

Satisfactory 0315: Window Character Type - Double Hung

Satisfactory 0317: Glass - Single Pane, Insulated

Service/Repair 0318: Windows Storm\Screen - MFG Fitted Storms, MFG Screens

Some damaged screens

Satisfactory 0319: Weather Stripping - None

Monitor/Maintain 0320: Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GUTTERS

Satisfactory 0402: Inspected From - Ground, Roof

Satisfactory 0403: Access Restricted - Not Restricted

Service/Repair 0404: Gutter Type - Aluminum, Built-in

Gutters should be cleaned regularly to prevent rot and roof damage. Often wood rot will be inside framing in this type of system and may not be visible and should be monitored for leakage. The gutters have debris in them and should be cleaned.

Service/Repair 0405: Downspout Type - Aluminum

GUTTERS

Disconnected down spout noted and should be repaired. A missing downspout shoe was noted and should be installed.

Satisfactory 0406: Sealed Downspouts - Some

**Inspection
Definition/Limitation** 0407: Runoff Drains - PVC

Location and condition of underground drains unknown.

Monitor/Maintain 0408: Splash Blocks - None

Splash blocks or run off drains should be added.

ROOF

Satisfactory 0502: How Inspected - Walk on Roof

Satisfactory 0503: Roof Access Restricted - Not Restricted

Satisfactory 0504: Roof Style - Hip, Shed

Service/Repair 0505: Roof Covering Primary Type - Fiberglass asphalt shingle, Metal, Rubber Membrane

Metal roofs are not walked as part of home inspection due to possible damage to roofing. Low or ponding areas on flat roofs shorten the life of the roofing felt and can cause rot to the underlying structure. Ideally, ponding roofs should be rebuilt to avoid the concentration of water. Some scuffing and aggregate loss noted and should be monitored.

Satisfactory 0506: Approx. Age - 1 thru 5

Satisfactory 0507: Number of Layers - 1

Satisfactory 0509: Flashing - Aluminum

Satisfactory 0511: Plumbing Vents - PVC, Lead

CHIMNEY

Satisfactory 0602: Chimney Inspected From - Roof

**Inspection
Definition/Limitation** 0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Service/Repair 0604: Chimney 1 Type - Block, Stucco

CHIMNEY

Some cracks were noted and should be repaired.

Satisfactory	0605: Chimney 1 Location - Main
Satisfactory	0606: Chimney 2 Type - Block, Stucco
Satisfactory	0607: Chimney 2 Location - Main
Satisfactory	0608: Flue Lining - Metal, Clay Tile
Service/Repair	0609: Chimney Top - Cement, Metal

Some cracks noted in chimney top.

Satisfactory	0610: Chimney Cap - Rain
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COOLING

Inspection Definition/Limitation	0702: Cooling System 1 Brand - York, No Service Tag
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Tag on unit either damaged or missing. All information in this section assumed.

Satisfactory	0703: Cooling System 1 Tonnage - 3 Ton
Monitor/Maintain	0704: Cooling System 1 Approx. Age - 15 plus

Unit very old and extended life should not be expected.

Satisfactory	0705: Heat Pump - Additional Units
Service/Repair	0706: Cooling System Coils and Fins - Damaged

Damaged fins noted. Some rust was noted on casings.

Satisfactory	0707: Cooling System Electrical - Ext. Disconnect
Service/Repair	0708: Cooling Lines - Insulation

The insulation should be improved.

Satisfactory	0709: Condensate Drain - Plastic
Inspection Definition/Limitation	0711: Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

COOLING

**Inspection
Definition/Limitation** 0713: Cooling System 2 Brand - York

Damaged tag and information is unknown.

Monitor/Maintain 0714: Cooling System 2 Approx. Age - 15 plus

Unit nearing the end of its expected life.

Satisfactory 0715: Cooling System 2 Tonnage - 2 Ton

**Inspection
Definition/Limitation** 0716: Differential Temp 2 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

**Inspection
Definition/Limitation** 0718: Cooling Unit 3 - Information page

Brand = York Age = 15+ Unit very old and extended life should not be expected. Tonnage = 2.5 The outside temperature was too low for the unit to be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, so the unit was not tested at time of inspection.

GARAGE

Satisfactory 0802: Garage Type - Multi Car Detached

Major Defect 0803: Garage Exterior Walls - Wood

Rotted areas were noted. All exterior wood should be evaluated and all needed repairs should be made.

Monitor/Maintain 0804: Garage Fascia\Soffit - Wood

Some loose paint and wood rot noted.

Satisfactory 0805: Garage Guttering - Aluminum

Satisfactory 0806: Garage Windows - Vinyl Clad

Service/Repair 0807: Garage Roof Framing Style - Hip

Metal roofs are not walked on.

Satisfactory 0808: Garage Roof Framing Type - Conventional

Satisfactory 0809: Garage Electrical System - GFCI, Lighting

GARAGE

Satisfactory	0810: Auto Garage Door Lift Controls - Manual
Satisfactory	0811: Garage Interior Walls - Unfinished
Satisfactory	0812: Garage Interior Ceiling - Unfinished
Satisfactory	0813: Garage Floor - Concrete
Satisfactory	0814: Garage Doors - Overhead

ELECTRIC

Safety Concern	0902: Main Electrical Service - Attached To House
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Tree limbs should be cut back from service cable line by a qualified contractor.

Satisfactory	0903: Main Electrical Service Wire - Aluminum
Satisfactory	0904: Overhead Clearance - 12 Feet
Satisfactory	0905: Voltage Available - 110 / 220
Satisfactory	0906: Main Electrical Distribution Panel Accessibility - Typical
Satisfactory	0907: Main Electrical Distribution Panel Location - Basement
Satisfactory	0908: Main Electrical Disconnect - Breaker
Satisfactory	0909: Main Panel - 200, 2 Panel System
Satisfactory	0910: Sub Panel - 100
Satisfactory	0911: Interior Wiring Visible Primary Type - Copper 90 percent
Safety Concern	0912: Type of Wire Visible Primary Type - Romex, BX Cable

Older wiring system noted If cloth insulation should be monitored and recommend upgrade.

Satisfactory	0913: Grounding - Driven Rod
Satisfactory	0914: Breakers in Use - Room for Expansion
Satisfactory	0916: Sub Panel Cir. in Use - Room For Expansion
Satisfactory	0917: Inspection Sticker - Main Panel, Sub Panel
Service/Repair	0918: Panel Schedule Filled in - Not Filled Out

ELECTRIC

Panel schedule Should be completed.

Safety Concern 0919: Electrical Defaults - Main Panel

No switch at the 3rd floor front right bedroom.

Satisfactory 0920: Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

**Inspection
Definition/Limitation** 1001: PLUMBING - General Comment

Filtration/Water treatment systems not part of the home inspection.

Satisfactory 1002: Water Source - Municipal

Satisfactory 1003: Municipal Main Supply Size - 3/4

Satisfactory 1004: Municipal Main Supply Type - Plastic

Satisfactory 1005: Main Water Shut Off - Basement

Satisfactory 1006: Main Gas Valve - Outside

Monitor/Maintain 1007: Interior Water Pipes Primaray Visible Type - Copper

Some discoloration was noted.

**Inspection
Definition/Limitation** 1008: Waste System - Private Septic

No test performed on septic system and is not a part of the home inspection.

**Inspection
Definition/Limitation** 1009: Interior Waste/Vent Pipes Primary Visable Type - PVC

Most piping concealed supply and drain.

Satisfactory 1010: Number of Outside Spigots - 2

Service/Repair 1011: Type of Outside Spigots - Frost Free, Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year. Leakage was noted at the right side hose and should be repaired.

PLUMBING

W. HEATER

Satisfactory	1103: Water Heater 1 Mfg. - Rheem
Satisfactory	1105: Water Heater 1 Approx. Age - 4
Satisfactory	1106: Water Heater 1 Size - 50
Satisfactory	1107: Water Heater Fuel - Electric
Satisfactory	1110: Water Heater Cold Water Valve - Present
Satisfactory	1111: Temp. Pressure Relief Valve and Pipe - Present
Satisfactory	1113: Water Heater Exterior Jacket - OK

LAUNDRY

Inspection Definition/Limitation	1201: LAUNDRY - General Comment
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Supply line has been removed. Trapped drain line has been disconnected. Dryer vent has been disconnected. Laundry area is not functional.

FURNACE

Inspection Definition/Limitation	1301: FURNACE - General Comment
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3rd unit. The Unico system. Electronic heater. Age unknown.

Satisfactory	1302: Forced Air System 1 Mfg. - York
Monitor/Maintain	1304: Forced Air System 1 Approx. Age - 20 plus

Unit is very old and extended life should not be expected.

Satisfactory	1305: Forced Air System Energy Source - Electric
Satisfactory	1306: Hot Air System - Direct Drive
Satisfactory	1309: Heat Pump - Electric
Satisfactory	1310: Distribution System Type - Up Flow
Service/Repair	1311: Distribution System Material - Metal Duct, Insul. Flex Duct

Rust noted at the basement unit bottom cabinet.

Satisfactory	1312: Thermostat - Single and Multi
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FURNACE

Satisfactory	1314: Forced Air System 2 Mfg. - York
Satisfactory	1315: Forced Air System 2 Approx. Age - 15 plus
Satisfactory	1317: Filter System - Disposable

BOILER

Major Defect	1401: BOILER - General Comment
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It appears the unit is short cycling at the time of inspection and the entire system should be evaluated and repaired. Unit should be cleaned and serviced.

Satisfactory	1402: Manufacture - Crown
Satisfactory	1403: Approx Age - 10
Satisfactory	1404: Rated BTU Per Hour - 150000 or more
Satisfactory	1405: Boiler System Energy Source - Gas
Satisfactory	1406: Boiler System Distribution Type - Hot Water
Satisfactory	1407: Boiler System Circulator #Pumps - 2
Satisfactory	1408: Boiler System Thermostat - Multi Zone
Satisfactory	1409: Vent System/Flue - Single Wall
Satisfactory	1410: Boiler System Controls - Temp. Pressure Relief
Satisfactory	1411: Boiler Pressure Controls - Temp. Pressure Gauge, Expansion tank
Satisfactory	1412: Boiler Emer. Disconnect - Switch
Satisfactory	1413: Boiler System Distribution Material Primary Visabl - Copper
Satisfactory	1414: Boiler System Circulator Zone Number - 2
Satisfactory	1415: Boiler System Circulator Pipe Gravity - Original

BASEMENT

Satisfactory	1502: Basement Type - Combination Crawlspace
Safety Concern	1503: Basement Access - Other

BASEMENT

Other = Bilco doors There was no hand rail noted in basement and one should be installed.

Service/Repair 1504: Basement Foundation Walls Primary Visable type - Stone, Brick

Some cracks and water penetration noted. Older style foundation and should be monitored. There was efflorescence on the walls. There were some areas of loose parging and water penetration.

Service/Repair 1506: Basement Floor - Cement, Other

Other = Brick Some mud stains were noted and indicate water entry.

Satisfactory 1507: Basement Bridging - Wood

Satisfactory 1508: Basement Structural Columns Visible Primary Type - Brick, Bearing Wall, Wood

Satisfactory 1509: Basement Structural Beams Visible Primary Type - Wood

Satisfactory 1510: Basement Ceiling Sub Floor Visible Primary Type - Sheathing BD., Plywood

Major Defect 1511: Basement Ceiling Joist Visible Primary Type - Conventional

Wood boring insect damage was evident. It should be evaluated by a qualified pest control contractor and a structural engineer to determine extend of damage and make any repairs or treatments as required. Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Satisfactory 1514: Basement Drainage - None

CRAWL SPACE

Satisfactory 1602: Crawl Space Type - Combination

Service/Repair 1603: Crawl Space Access - Via Basement, Exterior

Opening at the hatch under the deck should be sealed to prevent rodents from entering.

Service/Repair 1604: Crawl Space Foundation Walls - Brick

Some cracks and water penetration noted. Missing mortar was noted and should be repaired.

CRAWL SPACE

Satisfactory	1605: Crawl Space Bridging - None
Satisfactory	1606: Crawl Space Structural Columns - Cement Block
Satisfactory	1607: Crawl Space Structural Beams - Wood
Satisfactory	1608: Crawl Space Ceiling Sub Floor - Plywood
Major Defect	1609: Crawl Space Ceiling Joist - Conventional

Termite tubes and some termite damage were noted and should be evaluated by structural contractor or engineer and all needed repairs should be made. Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair. Wood boring insect damage was evident. It should be evaluated by a qualified pest control contractor and a structural engineer to determine extend of damage and make any repairs or treatments as required.

Service/Repair	1610: Crawl Space Insulation - Between Joist
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Insulation limits inspection. Some insulation has fallen and should be replaced. Insulation is installed upside down and should be repaired.

Satisfactory	1611: Crawl Space Ventilation - Wall Vents
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Service/Repair	1612: Crawl Space Floor Vapor Barrier - Not Present
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Recommend vapor Barrier Be installed.

Satisfactory	1613: Crawl Space Floor Type - Dirt
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Satisfactory	1614: Crawl Space Drainage - None
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KITCHEN

Satisfactory	1702: Kitchen Walls - Drywall, Wood
Satisfactory	1703: Kitchen Ceiling - Drywall
Satisfactory	1704: Kitchen Floors - Ceramic Tile
Satisfactory	1705: Kitchen Heating Source - Central
Satisfactory	1706: Kitchen Cooling Source - Central
Service/Repair	1707: Kitchen Doors Windows - Painted Shut

Some windows painted shut and could not be tested.

KITCHEN

Service/Repair 1708: Kitchen Cabinets - Custom Wood

Dry wall screws should be replaced with proper screws.

Satisfactory 1709: Kitchen Sink - Other

Other = Cement

Satisfactory 1710: Kitchen Sink Faucet - Hot and Cold

Satisfactory 1712: Kitchen Drain and Trap - PVC

Safety Concern 1713: Garbage Disposal - Other

Other = There was a hot, unused wire noted under cabinet which should be made safe.

**Inspection
Definition/Limitation** 1715: Dishwasher Mfg. - Other

Other= Not installed at time of inspection.

Satisfactory 1717: Exhaust Fan Hood - Built in to Stove

**Inspection
Definition/Limitation** 1718: Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested.

Major Defect 1719: Surface Cooktop - Electrical

Stove was not not tested due to breaker being off. It appears the unit is not functional due to corrosion. Burns have been removed. The built in vent system vents into the basement and should be to the exterior.

Satisfactory 1720: Kitchen Wall Receptacles - GFI Protected

Satisfactory 1721: Kitchen Switches Fixtures - Hanging

HALF BATH

Satisfactory 1802: Half Bath Doors and Windows - Door/ Lock

Satisfactory 1803: Half Bath Electric Switches and Fixtures - Ceiling

Satisfactory 1804: Half Bath Receptacles - GFCI

Satisfactory 1805: Half Bath Walls and Ceilings - Drywall

Satisfactory 1807: Half Bath Heating and Cooling - Central

Satisfactory 1808: Half Bath Sink Faucets - Individual

HALF BATH

Satisfactory 1809: Half Bath Sink Stopper - Push Pull

Satisfactory 1810: Half Bath Sink Basin - Porcelain

Service/Repair 1811: Half Bath Sink Drain and Trap - Chrome

The drain is slow and should be repaired.

Service/Repair 1812: Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base and should be repaired.

Satisfactory 1813: Toilet Operation - Flushes, Drains, Refills

Service/Repair 1814: Half Bath Ventilation - Other

Other = Vent was not installed and should be repaired.

Satisfactory 1815: Half Bath Floor - Ceramic Tile

Satisfactory 1816: Number of Half Baths - 1

BATHROOM

Service/Repair 1902: Bathroom Doors, Windows - Door/ Lock

2nd floor hallway bathroom window is painted shut and missing the lock and should be repaired.

Safety Concern 1903: Bathroom Electric Switches and Fixtures - Ceiling

Satisfactory 1904: Bathroom Receptacles - GFCI

Service/Repair 1905: Bathroom Walls and Ceilings - Drywall, Plaster

Some cracks were noted.

Satisfactory 1907: Bathroom Heating Cooling - Central Sys

Service/Repair 1908: Bathroom Sink Faucets - Individual

Satisfactory 1909: Bathroom Sink Stopper - Push Pull

Satisfactory 1910: Bathroom Sink Basin - Porcelain

Satisfactory 1911: Bathroom Sink Drain and Trap - Chrome

Satisfactory 1912: Toilet Bowl and Tank - 2 Piece

Satisfactory 1913: Toilet Operation - Flushes, Drains, Refills

BATHROOM

Satisfactory	1914: Bathtub Faucets - Individual
Satisfactory	1915: Bathtub Stopper - Pop Up
Service/Repair	1916: Bath Showerhead - Standard , Personal
Satisfactory	1918: Tub Wall Encl. - Ceramic
Service/Repair	1919: Bathroom Ventilation - Window, Fan

Fan is loose from the ceiling at the master bathroom and should be repaired.

Satisfactory	1920: Bathroom Floor - Vinyl, Wood Flooring
Satisfactory	1921: Shower Stall Walls - Fiberglass
Satisfactory	1922: Shower Drain - Floor Drain Stall, Tub
Major Defect	1923: Shower Faucets - Single Lever

Master shower stall was not operational at time of inspection and should be evaluated and demonstrated prior to settlement.

Satisfactory	1924: Number of Full Baths - 2
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ATTIC

Inspection Definition/Limitation	2002: Attic Accessibility - Access restricted
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Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

Satisfactory	2003: Attic Entry Access - Pull Down Steps
Satisfactory	2004: Attic Access Location - Hallway
Satisfactory	2005: Attic Structural Framing Type - Conventional
Satisfactory	2006: Attic Structural Framing Spacing - 24 inches on Center
Monitor/Maintain	2007: Attic Sheathing - Board Sheathing

Some evidence of leakage but not wet at the time of the inspection.

Satisfactory	2008: Attic Floor Insulation - Batt
Service/Repair	2009: Attic Insulation Thickness - 3 inches

ATTIC

Very little insulation installed and suggest adding more R-30 is suggested.

Satisfactory 2010: Attic Insulation Approx. R. Value - 11

Satisfactory 2012: Attic Wiring - Exposed

Satisfactory 2013: Attic Vent Pipes - Vented Outside

**Inspection
Definition/Limitation** 2014: Attic Exhaust - Other

Other = Not visible.

INTERIOR

Satisfactory 2103: Number of Bedrooms - 7

Safety Concern 2104: Interior Walls - Paneling, Plaster

Typical plaster/ drywall flaws noted. Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Service/Repair 2105: Interior Ceilings - Wood Panels, Plaster

Typical plaster/ drywall flaws noted. Loose paint was noted at the rear 1st floor great room.

Satisfactory 2106: Interior Floors - Vinyl, Wood, Tile

Satisfactory 2110: Interior Heat Source - Tested

**Inspection
Definition/Limitation** 2111: Interior Cooling Source - Not Tested

The outside temperature was to low to safely test Cooling Mode.

Satisfactory 2112: Interior Cabinets and Shelving - Accessible

Major Defect 2113: Interior Fire Place 1 - Masonry, Gas Log Fireplace

Gas valve was off and the fireplace was not tested. Operation should be demonstrated before settlement. All fireplaces.

Major Defect 2114: Interior Fire Place 2 - Masonry

INTERIOR

Cracks and missing areas of parging was noted at the front left room and the chimney system should be evaluated and all needed repairs should be made. Damper is damaged and would not close and should be repaired.

2115: Visible Flues and DMPs - Operated

2116: Closets/ Interior Doors - Doors in Place, Some Doors Would not Close Properly

Some doors would not close properly and should be repaired.

2117: Smoke Detectors - Too Few

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

2119: Stairways - With Hand Railings

2120: Ceiling Fan - Tested

2122: Windows - Sample Number Tested

Some windows could not be tested due to being painted shut. Damaged balances were noted to the windows that were operational. All windows should be evaluated and operational prior to settlement.

2123: GFCI Rest - Reset

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.