



Reliable Home Inspection Service  
100 Old Kennet Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Inspected By:  
JOHN KERRIGAN

Referral Information:N/A

H4-000007 ASHI #102225

Client Information:

FRONT VIEW



PHOTO

## Inspection Summary

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### Major Defect

#### ROOF

##### 0505: Roof Covering Primary Type

Moss on roof should be removed sunken area noted at the left right left corner of the roof. active leakage noted in side the building and

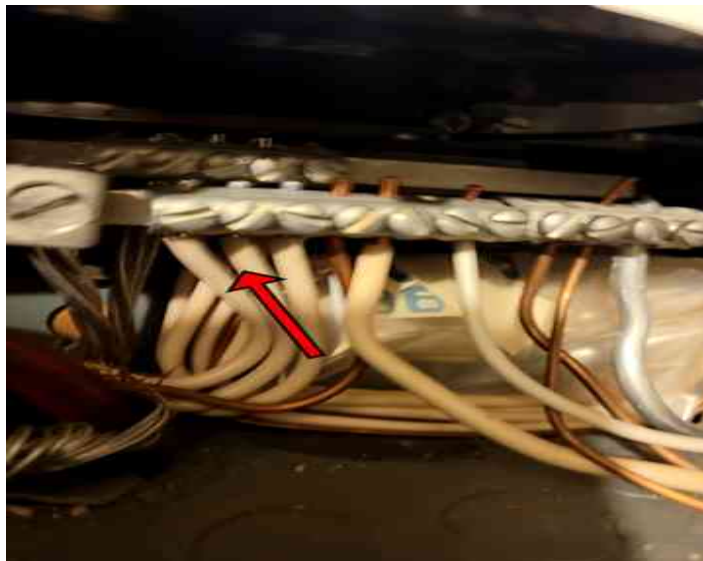
The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.



#### ELECTRIC

##### 0911: Interior Wiring Visible Primarey Type

Some aluminum branch circuits noted. This type of system is no longer installed and should be monitored closely. Heat stain noted above outlet and the entire system should be evaluated and repaired.

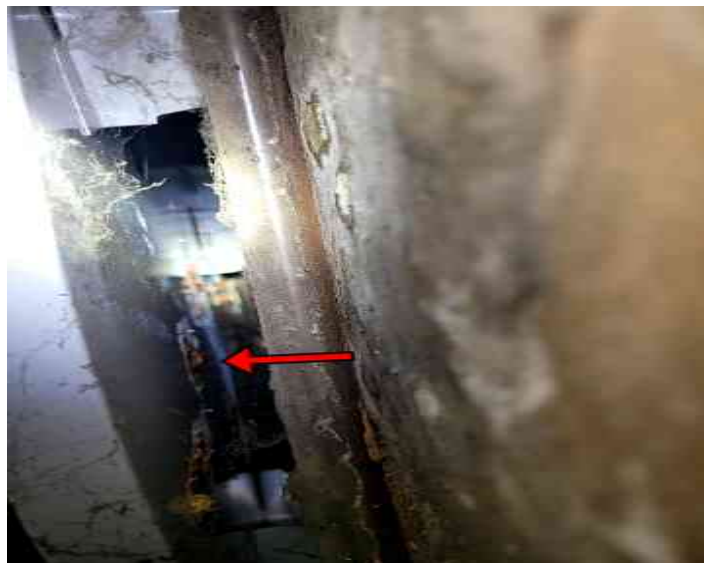


## Major Defect

### W. HEATER

#### 1101: WATER HEATER

Water heater leaking at the time of inspection and should be evaluated and replaced



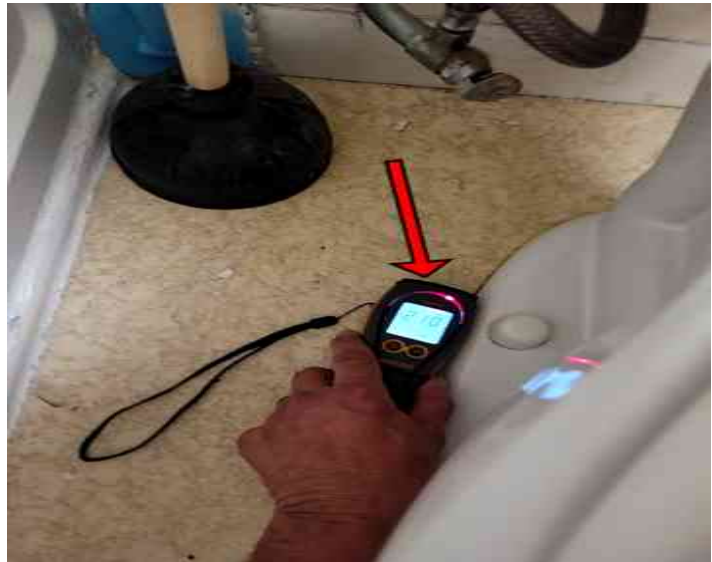


## Major Defect

### BATHROOM

#### 1912: Toilet Bowl and Tank

A currently wet area noted at the base of toilet and should be evaluated and repaired, including all hidden damage.



### ATTIC

#### 2007: Attic Sheathing

Currently wet areas were noted and indicate current roof leakage and roof system should be evaluated and all needed repairs should be made.

Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## Major Defect



### 2013: Attic Vent Pipes

Active leak near vent pipe entire Roof System should be evaluated and all needed repairs made

## INTERIOR

### 2104: Interior Walls

Typical drywall flaws were noted

Currently wet area is noted and utility closet evidence of water leakage appears to be long term. Source of wetness should be identified and all need repairs mad

Some mold mildew was noted on lower level of wall and should be cleaned by qualified personnel As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup repair



## Major Defect



### INTERIOR

#### 2105: Interior Ceilings

Drop ceilings limit inspection. Wet tiles noted. Source of moisture should be identified and all needed repairs made tile would not come out. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



## Major Defect



Water damaged tiles noted

### INTERIOR

#### 2109: Interior Outlets

Heat/ smoke stain noted above outlet in living room and may indicate aluminum wire problems entire wiring system should be evaluated and all needed repairs made





# Safety Concern

## GROUNDS

### 0202: Walks

Cracks and some settlement noted.  
Uneven areas present tripping hazard and should be repaired.





## Safety Concern

### EXTERIOR

#### 0302: Outside Outlets

Damaged or missing water proof covers were noted and should be repaired or replaced. Device would not trip



#### 0919: Electrical Defaults

Missing panel cover screws and should be replaced.

#### 1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested.  
A stabilizing device should be installed to prevent movement of the stove.

### KITCHEN

#### 1719: Surface Cooktop

Missing handle should be replaced



## Safety Concern

### KITCHEN

#### 1720: Kitchen Wall Receptacles

Recommend adding GFCI outlets in areas near water. Some outlets have cement over plates and will be difficult to remove and should be repaired



#### 1804: Half Bath Receptacles

No outlet installed and recommend one be installed GFCI protected.

### INTERIOR

#### 2108: Interior Fixtures

Improperly wired fixture/s noted and should be repaired above drop ceiling in laundry



## Safety Concern

### INTERIOR

#### 2120: Ceiling Fan

Improperly wired ceiling fan in rear bedroom should be repaired





## Service/Repair

### GROUNDS

#### 0203: Steps

Cracks and some settlement noted.



### GROUNDS

#### 0204: Patio

Other= wood patio on rear no access under. some damage cement noted at the edge.



## Service/Repair

### EXTERIOR

#### 0301: EXTERIOR

Rot noted fence/ railing around the front of the home.



### EXTERIOR

#### 0306: Soffit\Fascia

Some loose paint and wood rot noted.



## Service/Repair



Rotted areas should be replaced

## EXTERIOR

### 0308: Siding

Some cracked shingles noted. missing areas and gaps and should be repaired.





## Service/Repair



### 0309: Masonry Walls

Stucco appears to be over block

## EXTERIOR

### 0311: Entry Doors

Rotted trim noted on rear entry doors and should be repaired

Closet door could not be opened due to lack of access and stuck lock



## Service/Repair



## EXTERIOR

## 0313: Patio Doors

Some rot noted and should be repaired putty and filler noted.



5+extended

## Service/Repair



## EXTERIOR

## 0319: Weather Stripping

Torn and missing weather stripping was noted and should be repaired or replaced.





## Service/Repair

### GUTTERS

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

Gutter on front hanging and should be repaired



### GUTTERS

#### 0408: Splash Blocks

Other

Better splash blocks or run off drains should be added.



## Service/Repair

## ROOF

## 0501: ROOF

Step flashing is left on roof should be removed



## ROOF

## 0511: Plumbing Vents

Cracks were noted in the vent penetration boot and the vent should be repaired.



## Service/Repair

### CHIMNEY

#### 0604: Chimney 1 Type

Some rust was noted.



#### 0608: Flue Lining

Some Rust noted

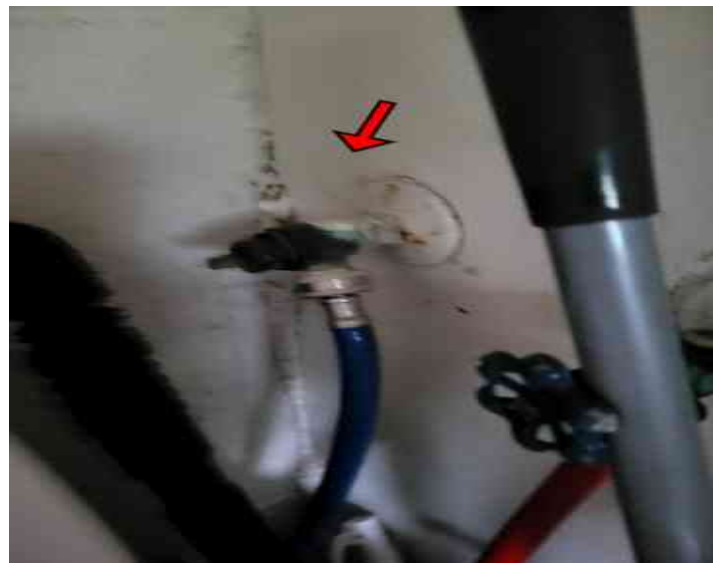
#### 0918: Panel Schedule Filled in

Panel schedule Should be completed.

### LAUNDRY

#### 1206: Laundry Water Faucets

Missing faucet handles noted





## Service/Repair

### LAUNDRY

#### 1208: Dryer Vented

Damage vent noted and should be repaired



### FURNACE

#### 1301: FURNACE

Some evidence, on vent stack and in unit should be clean service and adjusted



## Service/Repair

### KITCHEN

#### 1701: KITCHEN

Some leaning knee walls noted in kitchen and should be repaired



#### 1809: Half Bath Sink Stopper

The stopper is not operational.

### HALF BATH

#### 1812: Toilet Bowl and Tank

Seat broken and not proper attached



#### 1909: Bathroom Sink Stopper

Did not work on tested

## Service/Repair

### ATTIC

#### 2006: Attic Structural Framing Spacing

Cracked rafter noted and should be repaired



### INTERIOR

#### 2116: Closets/ Interior Doors

Some doors off the track.



## Service/Repair



## Monitor/Maintain

### EXTERIOR

#### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.

#### 0307: Grading

Soil should be sloped away from house to improve drainage.

#### 0310: Trim Work

Some loose paint and wood rot noted.

### COOLING

#### 0706: Cooling System Coils and Fins

Unit should be leveled bushes and vines should be removed





## Monitor/Maintain

### 1011: Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

### 1105: Water Heater 1 Approx. Age

Unit old and extended life should not be expected.

## ATTIC

### 2009: Attic Insulation Thickness

Very little insulation installed and suggest adding more R-30 is suggested.



## Inspection Definition/Limitation

## CHIMNEY

### 0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

### 0906: Main Electrical Distribution Panel Accessibility

Access limited and access should be improved.

### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain.

### 1308: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

### 1501: BASEMENT

No basement.

## Inspection Definition/Limitation

### 2002: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

## INTERIOR

### 2112: Interior Cabinets and Shelving

Access limited by heavy storage.



## Inspection Definition/Limitation

### 2201: Inspection Description/limitation

#### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.





## INSPECTION DEFINITIONS/LIMITATION

[Inspection Description/limitation](#)

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# Inspection Report Details

## GROUNDS

**Safety Concern** 0202: Walks - Concrete

Cracks and some settlement noted. Uneven areas present tripping hazard and should be repaired.

**Service/Repair** 0203: Steps - Concrete

Cracks and some settlement noted.

**Service/Repair** 0204: Patio - Other

Other= wood patio on rear no access under. some damage cement noted at the edge.

## EXTERIOR

**Service/Repair** 0301: EXTERIOR - General Comment

Rot noted fence/ railing around the front of the home.

**Safety Concern** 0302: Outside Outlets - Sample Number Tested

Damaged or missing water proof covers were noted and should be repaired or replaced. Device would not trip

**Satisfactory** 0303: Type of Building - Frame, Brick Veneer

**Monitor/Maintain** 0304: Exposed Foundation Primary Visible Type - Cement Block

Some cracks noted.

**Service/Repair** 0306: Soffit\Fascia - Aluminum, Wood

Some loose paint and wood rot noted.

**Monitor/Maintain** 0307: Grading - Inadequate

Soil should be sloped away from house to improve drainage.

**Service/Repair** 0308: Siding - Asbestos Shingle

Some cracked shingles noted.missing areas and gaps and should be repaired.

**Service/Repair** 0309: Masonry Walls - Brick, Stucco

Stucco appears to be over block

## EXTERIOR

**Monitor/Maintain** 0310: Trim Work - Wood

Some loose paint and wood rot noted.

**Service/Repair** 0311: Entry Doors - Metal

Rotted trim noted on rear entry doors and should be repaired Closet door could not be opened due to lack of access and stuck lock

**Satisfactory** 0312: Storm Doors - Aluminum

**Service/Repair** 0313: Patio Doors - French

Some rot noted and should be repaired putty and filler noted.

**Satisfactory** 0314: Window Character Material - Vinyl

**Satisfactory** 0315: Window Character Type - Double Hung

**Satisfactory** 0316: Additional Windows - Mixed Windows

**Satisfactory** 0317: Glass - Insulated

**Satisfactory** 0318: Windows Storm\Screen - MFG Screens, Alum Self Stored

**Service/Repair** 0319: Weather Stripping - Rubber\Vinyl, Metal, Fiber\Felt

Torn and missing weather stripping was noted and should be repaired or replaced.

**Satisfactory** 0320: Caulking - Windows, Doors, Siding Ends

## GUTTERS

**Satisfactory** 0402: Inspected From - Ground

**Satisfactory** 0403: Access Restricted - Not Restricted

**Service/Repair** 0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage. Gutter on front hanging and should be repaired

**Satisfactory** 0405: Downspout Type - Aluminum

**Service/Repair** 0408: Splash Blocks - Other

Other Better splash blocks or run off drains should be added.

## ROOF

**Service/Repair** 0501: ROOF - General Comment

Step flashing is left on roof should be removed

**Satisfactory** 0502: How Inspected - Walk on Roof

**Satisfactory** 0503: Roof Access Restricted - Not Restricted

**Satisfactory** 0504: Roof Style - Gable

**Major Defect** 0505: Roof Covering Primary Type - Fiberglass asphalt shingle

Moss on roof should be removed sunken area noted at the left right left corner of the roof. active leakage noted in side the building and The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.

**Satisfactory** 0506: Approx. Age - 10 thru 15

**Satisfactory** 0507: Number of Layers - 1

**Satisfactory** 0508: Roof Ventilation System - Ridge

**Satisfactory** 0509: Flashing - Aluminum, Galvanized

**Service/Repair** 0511: Plumbing Vents - Cast Iron

Cracks were noted in the vent penetration boot and the vent should be repaired.

## CHIMNEY

**Satisfactory** 0602: Chimney Inspected From - Roof

**Inspection Definition/Limitation** 0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

**Service/Repair** 0604: Chimney 1 Type - Metal

Some rust was noted.

**Satisfactory** 0605: Chimney 1 Location - Main

**Service/Repair** 0608: Flue Lining - Metal

Some Rust noted

**Satisfactory** 0609: Chimney Top - Metal



## CHIMNEY

**Satisfactory** 0610: Chimney Cap - Rain

## COOLING

**Satisfactory** 0702: Cooling System 1 Brand - Trane

**Satisfactory** 0703: Cooling System 1 Tonnage - 2.5 Ton

**Satisfactory** 0704: Cooling System 1 Approx. Age - 14

**Monitor/Maintain** 0706: Cooling System Coils and Fins - Out of level

Unit should be leveled bushes and vines should be removed

**Satisfactory** 0707: Cooling System Electrical - Ext. Disconnect

**Satisfactory** 0708: Cooling Lines - Insulation

**Satisfactory** 0709: Condensate Drain - Plastic

**Satisfactory** 0711: Differential Temp 1 - Details

Return temp = 72 Supply temp = 55 Differential Temp = 17

## ELECTRIC

**Satisfactory** 0902: Main Electrical Service - Underground Lateral Cable

**Satisfactory** 0903: Main Electrical Service Wire - Aluminum

**Satisfactory** 0905: Voltage Available - 110 / 220

**Inspection  
Definition/Limitation** 0906: Main Electrical Distribution Panel Accessibility - Restricted

Access limited and access should be improved.

**Satisfactory** 0907: Main Electrical Distribution Panel Location - Basement, Utility Room, Exterior, Kitchen

**Satisfactory** 0908: Main Electrical Disconnect - Breaker

**Satisfactory** 0909: Main Panel - 100

**Major Defect** 0911: Interior Wiring Visible Primary Type - Aluminum

Some aluminum branch circuits noted. This type of system is no longer installed and should be monitored closely. Heat stain noted above outlet and the entire system should be evaluated and repaired.

**Satisfactory** 0912: Type of Wire Visible Primary Type - Romex

## ELECTRIC

Satisfactory	0913: Grounding - Water Pipe
Satisfactory	0914: Breakers in Use - Room for Expansion
Satisfactory	0917: Inspection Sticker - Main Panel
Service/Repair	0918: Panel Schedule Filled in - Not Filled Out

Panel schedule Should be completed.

Safety Concern	0919: Electrical Defaults - Main Panel
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Missing panel cover screws and should be replaced.

Satisfactory	0920: Electrical Duplex Receptacles Primary Type - 3 Slotted
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A missing plate was noted and should be replaced.

## PLUMBING

Satisfactory	1002: Water Source - Municipal
Satisfactory	1003: Municipal Main Supply Size - 3/4
Satisfactory	1004: Municipal Main Supply Type - Copper
Satisfactory	1005: Main Water Shut Off - Utility Room
Satisfactory	1006: Main Gas Valve - Outside
Satisfactory	1007: Interior Water Pipes Primaray Visible Type - Copper
Satisfactory	1008: Waste System - Municipal
Inspection Definition/Limitation	1009: Interior Waste/Vent Pipes Primary Visable Type - Cast Iron

Most piping concealed supply and drain.

Satisfactory	1010: Number of Outside Spigots - 1
Monitor/Maintain	1011: Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

## W. HEATER

Major Defect	1101: WATER HEATER - General Comment
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## W. HEATER

Water heater leaking at the time of inspection and should be evaluated and replaced

Satisfactory

1103: Water Heater 1 Mfg. - Bradford White

Satisfactory

1104: Water Heater 1 Rated BTU Per Hour - 40,000 +

Monitor/Maintain

1105: Water Heater 1 Approx. Age - 15 plus

Unit old and extended life should not be expected.

Satisfactory

1106: Water Heater 1 Size - 50

Satisfactory

1107: Water Heater Fuel - Gas

Satisfactory

1108: Water Heater Flue Pipe - Single Wall

Satisfactory

1109: Water Heater Gas Piping - Valve On Off

Satisfactory

1110: Water Heater Cold Water Valve - Present

Satisfactory

1111: Temp. Pressure Relief Valve and Pipe - Present

Satisfactory

1113: Water Heater Exterior Jacket - OK

## LAUNDRY

Service/Repair

1206: Laundry Water Faucets - Single Handle

Missing faucet handles noted

Satisfactory

1207: Washer Drains - Trapped Line

Service/Repair

1208: Dryer Vented - Wall

Damage vent noted and should be repaired

Satisfactory

1209: Laundry Energy Source - 220 Electric

## FURNACE

Service/Repair

1301: FURNACE - General Comment

Some evidence, on vent stack and in unit should be clean service and adjusted

Satisfactory

1302: Forced Air System 1 Mfg. - Trane

Satisfactory

1303: Forced Air System 1 BTU Per Hour - 60,000



## FURNACE

Satisfactory	1304: Forced Air System 1 Approx. Age - 15 plus
Satisfactory	1305: Forced Air System Energy Source - Gas
Satisfactory	1306: Hot Air System - Direct Drive
Satisfactory	1307: Heat Exchanger Flame Pattern - Pass
Inspection Definition/Limitation	1308: Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Satisfactory	1310: Distribution System Type - Up Flow
Satisfactory	1311: Distribution System Material - Metal Duct
Satisfactory	1312: Thermostat - Programmable
Satisfactory	1313: Flue Piping - Single Walled
Satisfactory	1317: Filter System - Disposable
Satisfactory	1319: Age - 5 to 10 years

## BASEMENT

Inspection Definition/Limitation	1501: BASEMENT - General Comment
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No basement.

## KITCHEN

Service/Repair	1701: KITCHEN - General Comment
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Some leaning knee walls noted in kitchen and should be repaired

Satisfactory	1702: Kitchen Walls - Drywall
Satisfactory	1703: Kitchen Ceiling - Drywall
Satisfactory	1704: Kitchen Floors - Ceramic Tile
Satisfactory	1705: Kitchen Heating Source - Central
Satisfactory	1706: Kitchen Cooling Source - Central
Satisfactory	1707: Kitchen Doors Windows - Tested
Satisfactory	1708: Kitchen Cabinets - Custom Wood

## KITCHEN

Satisfactory	1709: Kitchen Sink - Stainless
Satisfactory	1710: Kitchen Sink Faucet - Single Lever
Satisfactory	1712: Kitchen Drain and Trap - Chrome
Satisfactory	1717: Exhaust Fan Hood - Hood Ductless
Safety Concern	1718: Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested. A stabilizing device should be installed to prevent movement of the stove.

Safety Concern	1719: Surface Cooktop - Gas
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Missing handle should be replaced

Safety Concern	1720: Kitchen Wall Receptacles - GFI Protected, Grounded
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Recommend adding GFCI outlets in areas near water. Some outlets have cement over plates and will be difficult to remove and should be repaired

Satisfactory	1721: Kitchen Switches Fixtures - Fixed
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## HALF BATH

Satisfactory	1802: Half Bath Doors and Windows - Door/ Lock
Satisfactory	1803: Half Bath Electric Switches and Fixtures - Wall
Safety Concern	1804: Half Bath Receptacles - None

No outlet installed and recommend one be installed GFCI protected.

Satisfactory	1805: Half Bath Walls and Ceilings - Drywall
Satisfactory	1806: Half Bath Exhaust System - Elect Fan Attic
Satisfactory	1807: Half Bath Heating and Cooling - Other

Other = There is no heat in half bathroom.

Satisfactory	1808: Half Bath Sink Faucets - Individual
Service/Repair	1809: Half Bath Sink Stopper - Push Pull

The stopper is not operational.

Satisfactory	1810: Half Bath Sink Basin - Porcelain
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## HALF BATH

**Satisfactory** 1811: Half Bath Sink Drain and Trap - PVC

**Service/Repair** 1812: Toilet Bowl and Tank - 2 Piece

Seat broken and not proper attached

**Satisfactory** 1813: Toilet Operation - Flushes, Drains, Refills

**Satisfactory** 1814: Half Bath Ventilation - Fan

**Satisfactory** 1815: Half Bath Floor - Ceramic Tile

**Satisfactory** 1816: Number of Half Baths - 1

## BATHROOM

**Satisfactory** 1902: Bathroom Doors, Windows - Door/ Lock

**Satisfactory** 1903: Bathroom Electric Switches and Fixtures - Ceiling

**Satisfactory** 1904: Bathroom Receptacles - GFCI

**Satisfactory** 1905: Bathroom Walls and Ceilings - Drywall

**Satisfactory** 1906: Bathroom Exhaust System - Elec. Fan Outdoors

**Satisfactory** 1907: Bathroom Heating Cooling - Central Sys

**Service/Repair** 1909: Bathroom Sink Stopper - Push Pull

Did not work on tested

**Satisfactory** 1910: Bathroom Sink Basin - Cast Marble

**Satisfactory** 1911: Bathroom Sink Drain and Trap - PVC

**Major Defect** 1912: Toilet Bowl and Tank - 2 Piece

A currently wet area noted at the base of toilet and should be evaluated and repaired, including all hidden damage.

**Satisfactory** 1913: Toilet Operation - Flushes, Drains, Refills

**Satisfactory** 1914: Bathtub Faucets - Single Lever

**Satisfactory** 1915: Bathtub Stopper - Concealed

**Satisfactory** 1916: Bath Showerhead - Standard

**Satisfactory** 1918: Tub Wall Encl. - Fiberglass

## BATHROOM

**Satisfactory** 1919: Bathroom Ventilation - Fan

**Satisfactory** 1920: Bathroom Floor - Vinyl

**Satisfactory** 1924: Number of Full Baths - 1

## ATTIC

**Inspection Definition/Limitation** 2002: Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

**Satisfactory** 2003: Attic Entry Access - Hatch

**Satisfactory** 2004: Attic Access Location - Bedroom

**Satisfactory** 2005: Attic Structural Framing Type - Conventional

**Service/Repair** 2006: Attic Structural Framing Spacing - 16 inches on Center

Cracked rafter noted and should be repaired

**Major Defect** 2007: Attic Sheathing - Plywood

Currently wet areas were noted and indicate current roof leakage and roof system should be evaluated and all needed repairs should be made. Some mold/mildew was noted in the attic and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

**Satisfactory** 2008: Attic Floor Insulation - Fiberglass

**Monitor/Maintain** 2009: Attic Insulation Thickness - 3 inches

Very little insulation installed and suggest adding more R-30 is suggested.

**Satisfactory** 2010: Attic Insulation Approx. R. Value - 11

**Satisfactory** 2011: Attic Ventilation - Ridge

**Satisfactory** 2012: Attic Wiring - Covered with Insulation, Exposed

**Major Defect** 2013: Attic Vent Pipes - Vented Outside

Active leak near vent pipe entire Roof System should be evaluated and all needed repairs made

## ATTIC

**Satisfactory** 2015: Attic Chimney Flues - Metal

## INTERIOR

**Satisfactory** 2103: Number of Bedrooms - 3

**Major Defect** 2104: Interior Walls - Dry Wall

Typical drywall flaws were noted Currently wet area is noted and utility closet evidence of water leakage appears to be long term. Source of wetness should be identified and all need repairs mad Some mold mildew was noted on lower level of wall and should be cleaned by qualified personnel As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup repair

**Major Defect** 2105: Interior Ceilings - Acoustic Tile

Drop ceilings limit inspection. Wet tiles noted. Source of moisture should be identified and all needed repairs made tile would not come out Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

**Satisfactory** 2106: Interior Floors - Carpet, Vinyl

**Satisfactory** 2107: Interior Switches - Sample Number Test

**Safety Concern** 2108: Interior Fixtures - Not Properly Wired

Improperly wired fixture/s noted ands should be repaired above drop ceiling in laundry

**Major Defect** 2109: Interior Outlets - Three Prong Grounded

Heat/ smoke stain noted above outlet in living room and may indicate aluminum wire problems entire wiring system should be evaluated and all needed repairs made

**Satisfactory** 2110: Interior Heat Source - Tested

**Satisfactory** 2111: Interior Cooling Source - Tested

**Inspection Definition/Limitation** 2112: Interior Cabinets and Shelving - Heavy Storage

Access limited by heavy storage.

**Service/Repair** 2116: Closets/ Interior Doors - Doors Off Track

Some doors off the track.



INTERIOR

Satisfactory

 2117: Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied. Its recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

Satisfactory

 2119: Stairways - With Hand Railings

Safety Concern

 2120: Ceiling Fan - Sample Number Tests

Improperly wired ceiling fan in rear bedroom should be repaired

Satisfactory

 2122: Windows - Operated

Satisfactory

 2123: GFCI Rest - Reset

# INSPECTION DEFINITIONS/LIMITATION

## Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.