



RELIABLE HOME INSPECTION SERVICE

100 Old Kennett Road
Wilmington, DE 19807
302/993-9100 (DE)
610/388-7911 (PA)
410/392-2200 (MD)

Printed Wednesday, April 25, 2018

Inspected By:

FRANCIS GLYNN H4-0000078 ASHI # 253366

Referral Information

XXXXX

Client Information: Record Number 192125680

XXXXX

XXXXX

REHOBOTH BEACH, DE 19971

Inspected 4/25/18 9:00 AM

FRONT VIEW

PHOTO



Inspection Summary

RELIABLE HOME INSPECTION SERVICE

100 Old Kennett Road

Wilmington, DE 19807

302/993-9100 DE

610/388-7911 (PA)

410/392-2200 (MD)

Record 192125680 - XXXXX, REHOBOTH BEACH, DE 19971

Major Defect

EXTERIOR

Type of Home

Some cracks were noted. Open area was noted. Open caulk joints were noted.

Exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.



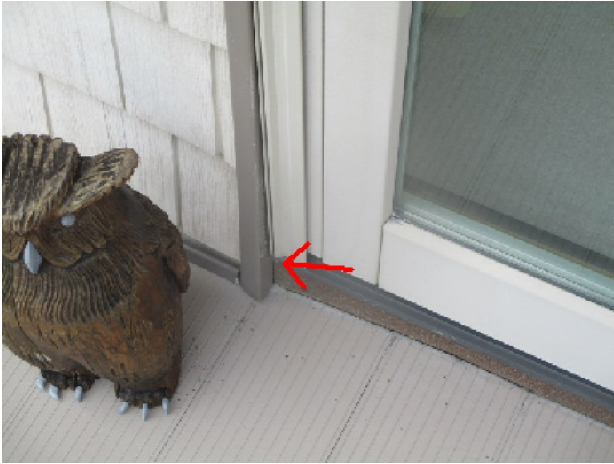
Major Defect

Siding

Some loose and poorly fitting areas were noted.
Some missing sections were noted.
Some staining was noted.
Mismatched section was noted.
Evidence of leakage was noted at multiple locations at the interior of the home.
All exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect



Major Defect

Masonry Walls

Some cracks were noted. Open area was noted. Open caulk joints were noted.

Exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

Patio Doors

Currently wet areas were noted at the dinning room sliding door. The door does not lock properly. Condensation was noted between insulated glass. The entire door system should be evaluated by a qualified contractor and all needed repairs should be made. Evidence of past leakage was noted to the slider in the family room. Recommend further evaluation by a qualified contractor and all needed repairs should be made. All sliding doors should be evaluated and all needed repairs should be made.



Major Defect



Window Character Material

Damaged front vinyl window and should be repaired or replaced.
Loose trim pieces were noted and should be repaired.



Major Defect

GROUNDS

Decks

Other= Plastic decking.

Sagging areas were noted. Waviness was noted at the deck boards.

Missing lag bolts were noted at the supports under the deck.

Loose, missing and damaged lattice was noted.

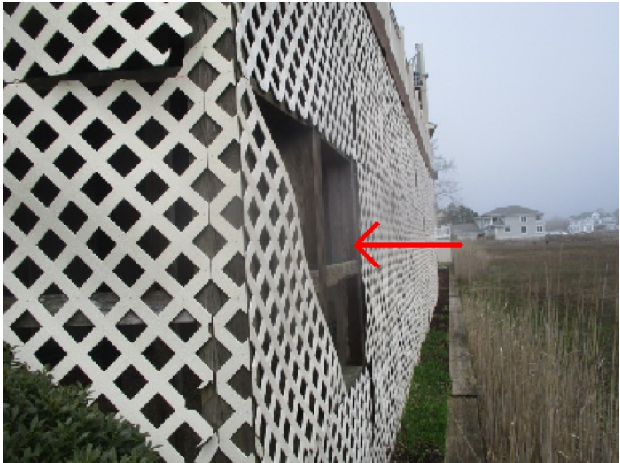
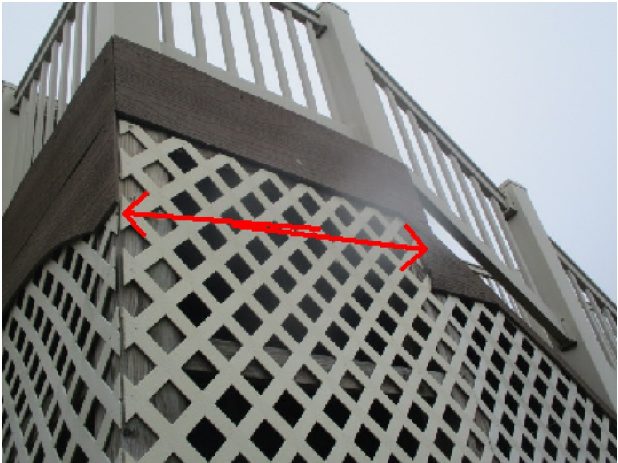
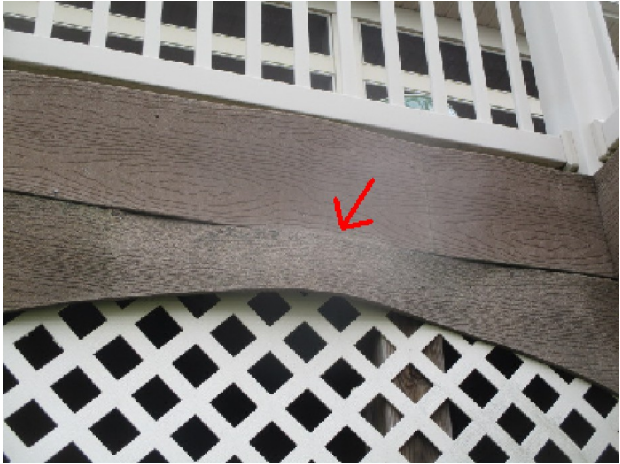
The railings are leaning.

Improperly installed flashing or no flashing noted where the decks connects to the home.

Both deck systems should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect



Major Defect

COOLING

Condensate Drain

Active Leakage of the condensate in the attic drain line will cause staining and/or damage to the interior ceiling surfaces. Further evaluation by a qualified HVAC contractor is recommended and all needed repairs should be made.



LAUNDRY

Laundry Sink Drain Trap

The drain pipe leaked when tested and should be evaluated and repaired. Lower level laundry tub.

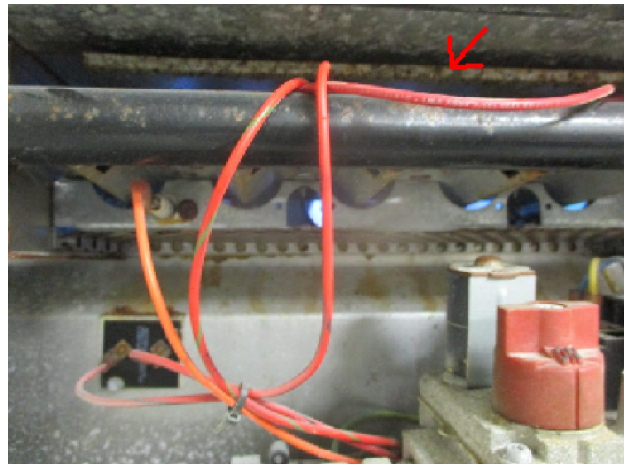
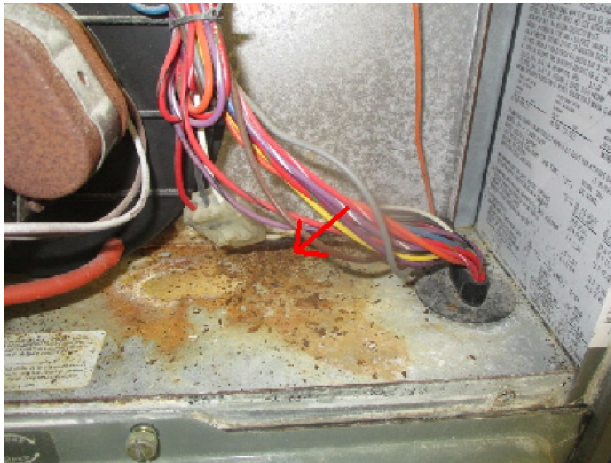


Major Defect

FURNACE

Heat Exchanger Visual

Large amounts of rust was noted at the heat exchanger. Both bottom units should be evaluated and serviced by a qualified heating contractor.



Major Defect

BATHROOM

Bathroom Doors, Windows

Pocket door does not lock.

Condensation was noted between panes of insulated glass and the window should be replaced. Master bathroom.

Damage balance was noted. Damage to the vinyl sash was noted. Refer to major defect at interior windows.



Major Defect

INTERIOR

Interior Fire Place 1

The pilot was not lit and the fireplace was not tested. Operation should be demonstrated before settlement.



Major Defect

Windows

Damage balances were noted.
Condensation was noted between insulated multiple window panes.
Evidence of leakage was noted at multiple windows.
Damage safety clip was noted.
All windows should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect



Major Defect

Safety Concern

GROUNDS

Hand Rail

Other =Vinyl

Loose railings were noted at the front and should be repaired.



GARAGE

Garage Interior Walls

Some mold/mildew was noted on walls and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Safety Concern

W. HEATER

WATER HEATER

Water heater temp is above normal setting.



BATHROOM

Bathroom Electric Switches and Fixtures

Light in the master shower did not work at time of inspection and should be evaluated and repaired.



INTERIOR

Interior Walls

Typical drywall flaws were noted.
Some mold/mildew was noted in the master closet/bathroom and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.
Some stains were noted but were not wet at the time of inspection.



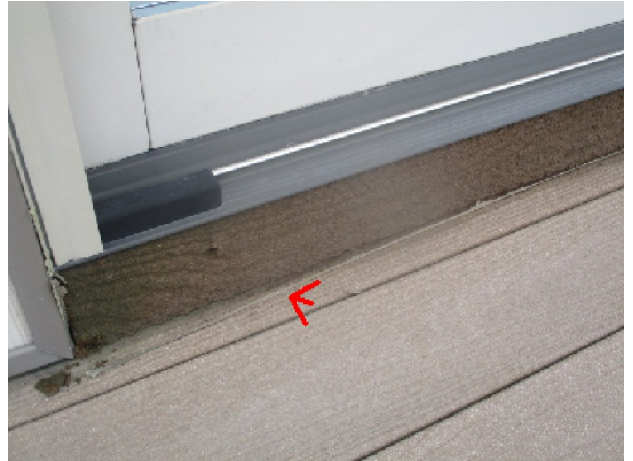
Service/Repair

EXTERIOR

Trim Work

Other = Man made material.

Rotted areas were noted under the dinning room sliding door and should be replaced.



Entry Doors

Side door at the master bedroom does not close properly and should be repaired.(daylight was showing)



Windows Storm\Screen

Some damaged screens noted.

Service/Repair

Caulking

Caulking should be improved.



Service/Repair

GROUNDS

Porches

Other = Man made material with pressure treated framing.
Warped and loose fitting material was noted and should be repaired or replaced.



Service/Repair

ROOF

Roof Covering Primary Type

Nail heads should be sealed where exposed.
A few cracked shingles were noted and should be repaired.
Some waviness was noted.
Some staining was noted.



Service/Repair

GARAGE

Auto Garage Door Lift Controls

Single garage door would not stay up fully up when tested and should be repaired.



PLUMBING

Interior Visible Water Pipes Visible Primary Type

Unused valves should be capped.



Service/Repair

KITCHEN

Kitchen Walls

Back splash should be better sealed.



Range Oven

Cook top should be sealed to the counter top.

HALF BATH

Half Bath Ventilation

The fan is noisy.

BATHROOM

Bathroom Sink Basin

The lavatory top is not secured properly to the vanity base. Use clear silicone caulk to attach it. Lower level bathroom.

Toilet Bowl and Tank

The toilet is loose at the base. Lowest level bathroom.

Bathtub Faucets

Diverter would not properly seal and should be repaired.



Bathtub Stopper

Master bathroom tub stopper did not seal completely.

Bath Showerhead

Shower head leaks when tested. Master bathroom

Service/Repair

Tub Wall Encl.

The tub enclosure joints should be re-caulked. Master bathroom.

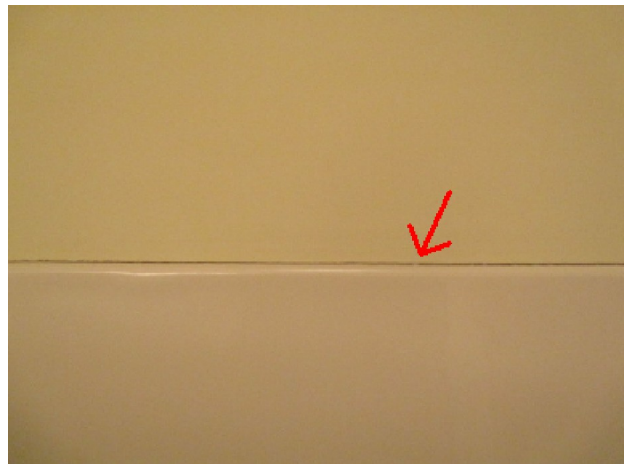


Bathroom Ventilation

Light/fan combo noted in bathroom and light did not work at time of inspection. Lowest level bathroom.

Shower Stall Walls

Ceramic tile joints need caulking.
The fiberglass surround should be better sealed.



Service/Repair

INTERIOR

Interior Floors

Water stains were noted at the dinning room slider and were dry at time of inspection.
Some missing grout was noted at the foyer.



Interior Ceilings

Typical drywall flaws were noted.
Water stains were noted but were not currently wet at the time of inspection.



Monitor/Maintain

EXTERIOR

Exposed Foundation

Some cracks noted.

Monitor/Maintain

Grading

Soil should be sloped away from house to improve drainage.

GUTTERS

Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

PLUMBING

Type of Outside Spigots

Unprotected hose connections should be shut off and drained before first freeze each year.

FURNACE

FURNACE

3rd unit in the attic.
Rheem 12 years old. 105k BTU

ATTIC

Attic Sheathing

Some stains were noted but were not currently wet.



INTERIOR

Smoke Detectors

Smoke detectors should be checked on the day home is occupied.

Inspection Definition/Limitation

EXTERIOR

EXTERIOR

Exterior kitchen is not in the scope of the home inspection.



GUTTERS

Runoff Drains

Location and condition of underground drains unknown.

CHIMNEY

Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

COOLING

Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

Differential Temp 2

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

Cooling Unit 3

Brand = Rheem Age = 12 Tonnage = 4

The outside temperature was too low for the unit to be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, so the unit was not tested at time of inspection.

Inspection Definition/Limitation

ELECTRIC

ELECTRICAL SYSTEM

Generator systems are not in the scope of the home inspection.



PLUMBING

Interior Waste/Vent Pipes Visible Primary Type

Most piping concealed supply and drain.

BASEMENT

Basement Wall Finish

Inspection limited by finished areas.

ATTIC

Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.
Some parts of the attic were not accessible.

INTERIOR

INTERIOR ROOMS

Elevator not in the scope of the home inspection.

Inspection Definition/Limitation

INSPECTION DEFINITIONS/LIMITATION

Inspection Discription/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Report Details

Record 192125680 - XXXXX, REHOBOTH BEACH, DE 19971

EXTERIOR

Inspection Definition/Limitati on

EXTERIOR - General Comment

Exterior kitchen is not in the scope of the home inspection.

Satisfactory

Outside Outlets - Sample Number Tested

Major Defect

Type of Home - Frame, Masonry, 2 Story

Some cracks were noted. Open area was noted. Open caulk joints were noted.
Exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.

Monitor/Maintain

Exposed Foundation - Cement Block

Some cracks noted.

Satisfactory

Soffit\Fascia - Aluminum

Monitor/Maintain

Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Major Defect

Siding - Vinyl

Some loose and poorly fitting areas were noted.
Some missing sections were noted.
Some staining was noted.
Mismatched section was noted.
Evidence of leakage was noted at multiple locations at the interior of the home.
All exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.

Major Defect

Masonry Walls - Stucco

Some cracks were noted. Open area was noted. Open caulk joints were noted.
Exterior walls should be evaluated by a qualified contractor and all needed repairs should be made.

Service/Repair

Trim Work - Other

Other = Man made material.
Rotted areas were noted under the dinning room sliding door and should be replaced.

Service/Repair

Entry Doors - Metal

Side door at the master bedroom does not close properly and should be repaired.(daylight was showing)

Major Defect

Patio Doors - Sliding

Currently wet areas were noted at the dinning room sliding door. The door does not lock properly. Condensation was noted between insulated glass. The entire door system should be evaluated by a qualified contractor and all needed repairs should be made.

Evidence of past leakage was noted to the slider in the family room. Recommend further evaluation by a qualified contractor and all needed repairs should be made.

All sliding doors should be evaluated and all needed repairs should be made.

Major Defect

Window Character Material - Vinyl

Damaged front vinyl window and should be repaired or replaced.
Loose trim pieces were noted and should be repaired.

Satisfactory

Window Character Type - Double Hung, Fixed

Satisfactory

Glass - Insulated

EXTERIOR

Service/Repair Windows Storm\Screen - MFG Screens

Some damaged screens noted.

Satisfactory Weather Stripping - Fiber\Felt

Service/Repair Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GROUNDS

Satisfactory Walks - Brick

Satisfactory Steps - Other

Other = Man made material.

Service/Repair Porches - Other

Other = Man made material with pressure treated framing.

Warped and loose fitting material was noted and should be repaired or replaced.

Major Defect Decks - Man made decking with Pressure Sub-framing

Other= Plastic decking.

Sagging areas were noted. Waviness was noted at the deck boards.

Missing lag bolts were noted at the supports under the deck.

Loose, missing and damaged lattice was noted.

The railings are leaning.

Improperly installed flashing or no flashing noted where the decks connects to the home.

Both deck systems should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory Driveway - Other

Other = Paver stone.

Safety Concern Hand Rail - Other

Other =Vinyl

Loose railings were noted at the front and should be repaired.

GUTTERS

Satisfactory Inspected From - Roof, Ground

Satisfactory Access Restricted - Not Restricted

Monitor/Maintain Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

Satisfactory Downspout Type - Aluminum

Satisfactory Sealed Downspouts - Most

Inspection Definition/Limitation Runoff Drains - PVC

Location and condition of underground drains unknown.

ROOF

Satisfactory How Inspected - Walk on Roof

Satisfactory Roof Access Restricted - Not Restricted

Satisfactory Roof Style - Hip

Service/Repair Roof Covering Primary Type - Metal, Asphalt Composite Shingle

Nail heads should be sealed where exposed.
A few cracked shingles were noted and should be repaired.
Some waviness was noted.
Some staining was noted.

Satisfactory Approx. Age - 10 thru 15

Satisfactory Number of Layers - 1

Satisfactory Roof Ventilation System - Soffit

Satisfactory Flashing - Aluminum

Satisfactory Plumbing Vents - PVC

Satisfactory Valleys - Asphalt

CHIMNEY

Satisfactory Chimney Inspected From - Roof

Inspection Definition/Limitation Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

Satisfactory Chimney 1 Type - Metal

Satisfactory Chimney 1 Location - Main

Satisfactory Flue Lining - Metal

Satisfactory Chimney Top - Metal

Satisfactory Chimney Cap - Rain

COOLING

Satisfactory	Cooling System 1 Brand - Rheem
Satisfactory	Cooling System 1 Tonnage - 4 Ton
Satisfactory	Cooling System 1 Approx. Age - 12
Satisfactory	Heat Pump - Additional Units
Satisfactory	Cooling System Coils and Fins - Clean
Satisfactory	Cooling System Electrical - Ext. Disconnect
Satisfactory	Cooling Lines - Insulation

Major Defect Condensate Drain - Plastic

Active Leakage of the condensate in the attic drain line will cause staining and/or damage to the interior ceiling surfaces. Further evaluation by a qualified HVAC contractor is recommended and all needed repairs should be made.

Inspection Definition/Limitation

Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

Satisfactory	Cooling System 2 Brand - Rheem
Satisfactory	Cooling System 2 Approx. Age - 12
Satisfactory	Cooling System 2 Tonnage - 4 Ton

Inspection Definition/Limitation

Differential Temp 2 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

Inspection Definition/Limitation

Cooling Unit 3 - Information page

Brand = Rheem

Age = 12

Tonnage = 4

The outside temperature was too low for the unit to be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, so the unit was not tested at time of inspection.

GARAGE

Satisfactory	Garage Type - 3 Car Attached
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GARAGE

Satisfactory **Garage Exterior Walls - Same as House**

Satisfactory **Garage Windows - Vinyl**

Satisfactory **Garage Electrical System - GFCI, Lighting**

Service/Repair **Auto Garage Door Lift Controls - Auto Opener, Auto Safety Reverse, Electronic Eye**

Single garage door would not stay up fully up when tested and should be repaired.

Safety Concern **Garage Interior Walls - Drywall\Plaster**

Some mold/mildew was noted on walls and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Satisfactory **Garage Interior Ceiling - Drywall\Plaster**

Satisfactory **Garage Floor - Concrete**

Satisfactory **Garage Doors - Overhead**

ELECTRIC

Inspection Definition/Limitation **ELECTRICAL SYSTEM - General Comment**

Generator systems are not in the scope of the home inspection.

Satisfactory **Main Electrical Service - Underground Lateral Cable**

Satisfactory **Main Electrical Service Wire - Aluminum**

Satisfactory **Voltage Available - 110 / 220**

Satisfactory **Main Electrical Distribution Panel Accessibility - Typical**

Satisfactory **Main Electrical Distribution Panel Location - Garage**

Satisfactory **Main Electrical Disconnect - Breaker**

Satisfactory **Main Panel - 200, 2 Panel System, Inspection Sticker**

Satisfactory **Sub Panel - 100**

ELECTRIC

Satisfactory	Interior Wiring Visible Primary Type - Copper 90 percent
Satisfactory	Type of Wire Visible Primary Type - Romex
Satisfactory	Grounding - Driven Rod
Satisfactory	Breakers in Use - Room for Expansion
Satisfactory	Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

Satisfactory	Water Source - Municipal
Satisfactory	Municipal Main Supply Size - 3/4
Satisfactory	Municipal Main Supply Type - Plastic
Satisfactory	Main Water Shut Off - Garage
Satisfactory	Main Gas Valve - Outside
Service/Repair	Interior Visible Water Pipes Visible Primary Type - CPVC, PEX Unused valves should be capped.
Satisfactory	Waste System - Municipal
Inspection Definition/Limitation	Interior Waste/Vent Pipes Visible Primary Type - PVC Most piping concealed supply and drain.
Satisfactory	Number of Outside Spigots - 2
Monitor/Maintain	Type of Outside Spigots - Frost Free, Unprotected Unprotected hose connections should be shut off and drained before first freeze each year.

W. HEATER

Safety Concern	WATER HEATER - General Comment Water heater temp is above normal setting.
Satisfactory	Water Heater 1 Mfg. - Other Other =Rinnai direct vent tankless water heater.

W. HEATER

Satisfactory Water Heater 1 Rated BTU Per Hour - 50,000 +

Satisfactory Water Heater 1 Approx. Age - 12

Satisfactory Water Heater 1 Size - Other

Other =Tankless

Satisfactory Water Heater Fuel - L.P.

Satisfactory Water Heater Flue Pipe - PVC

Satisfactory Water Heater Gas Piping - Valve On Off

Satisfactory Water Heater Cold Water Valve - Present

Satisfactory Temp. Pressure Relief Valve and Pipe - Present

Satisfactory Water Heater Exterior Jacket - OK

Satisfactory Water Heater 2 Mfg. - Other

Other =Rinnai direct vent tankless water heater.

Satisfactory Water Heater 2 Rated BTU Per Hour - 36,000 +

Satisfactory Water Heater 2 Approx. Age - 12

Satisfactory Water Heater 2 Size - Other

Other =Tankless.

LAUNDRY

Satisfactory Laundry Sink - Plastic

Satisfactory Laundry Sink Faucets - Tested

Major Defect Laundry Sink Drain Trap - PVC

The drain pipe leaked when tested and should be evaluated and repaired. Lower level laundry tub.

Satisfactory Laundry Water Faucets - Single Handle

Satisfactory Washer Drains - Trapped Line

LAUNDRY

Satisfactory Dryer Vented - Wall

Satisfactory Laundry Energy Source - 220 Electric

FURNACE

Monitor/Maintain FURNACE - General Comment

3rd unit in the attic.
Rheem 12 years old. 105k BTU

Satisfactory Forced Air System 1 Mfg. - Rheem

Satisfactory Forced Air System 1 BTU Per Hour - 85,000 +

Satisfactory Forced Air System 1 Approx. Age - 12

Satisfactory Forced Air System Energy Source - Gas LP

Satisfactory Hot Air System - Direct Drive

Satisfactory Heat Exchanger Flame Pattern - Pass

Major Defect Heat Exchanger Visual - Fail

Large amounts of rust was noted at the heat exchanger. Both bottom units should be evaluated and serviced by a qualified heating contractor.

Satisfactory Distribution System Type - Up Flow

Satisfactory Distribution System Material - Metal Duct

Satisfactory Thermostat - Programmable

Satisfactory Flue Piping - PVC

Satisfactory Forced Air System 2 Mfg. - Rheem

Satisfactory Forced Air System 2 Approx. Age - 12

Satisfactory Forced Air System 2 BTU Per Hour - 84,000 +

Satisfactory Filter System - Electronic

BASEMENT

Satisfactory	Basement Type - Lower Level
Satisfactory	Basement Access - Interior Stairs, Typical
Satisfactory	Basement Floor - Cement, Tile on slab
Satisfactory	Basement Ceiling Sub Floor Visible Primary Type - Particle BD.
Satisfactory	Basement Ceiling Joist Visible Primary Type - 2X O.C.
Inspection Definition/Limitation	Basement Wall Finish - Partially Finished
Inspection limited by finished areas.	
Satisfactory	Basement Drainage - None

KITCHEN

Service/Repair	Kitchen Walls - Drywall, Tile
Back splash should be better sealed.	
Satisfactory	Kitchen Ceiling - Drywall
Satisfactory	Kitchen Floors - Wood
Satisfactory	Kitchen Heating Source - Central
Satisfactory	Kitchen Cooling Source - Central
Satisfactory	Kitchen Doors Windows - Tested
Satisfactory	Kitchen Cabinets - Custom Wood
Satisfactory	Kitchen Sink - Stainless
Satisfactory	Kitchen Sink Faucet - Single Lever
Satisfactory	Kitchen Sink 3rd Faucet - Sprayer
Satisfactory	Kitchen Drain and Trap - PVC

KITCHEN

Satisfactory Garbage Disposal - Continuous Feed

Satisfactory Dishwasher Approx. Age - 10 or older

Satisfactory Dishwasher Mfg. - Whirlpool

Satisfactory Exhaust Fan Hood - Hood Ductless

Service/Repair Range Oven - Drop In

Cook top should be sealed to the counter top.

Satisfactory Surface Cooktop - Gas

Satisfactory Kitchen Wall Receptacles - GFI Protected

Satisfactory Kitchen Switches Fixtures - Recessed

HALF BATH

Satisfactory Half Bath Doors and Windows - Door Lock

Satisfactory Half Bath Electric Switches and Fixtures - Ceiling

Satisfactory Half Bath Receptacles - GFCI

Satisfactory Half Bath Walls and Ceilings - Drywall

Satisfactory Half Bath Sink Faucets - Individual

Satisfactory Half Bath Sink Stopper - Push Pull

Satisfactory Half Bath Sink Basin - Cast Marble

Satisfactory Half Bath Sink Drain and Trap - PVC

Satisfactory Toilet Bowl and Tank - 2 Piece

Satisfactory Toilet Operation - Flushes, Drains, Refills

HALF BATH

Service/Repair Half Bath Ventilation - Fan

The fan is noisy.

Satisfactory Half Bath Floor - Ceramic Tile

Satisfactory Number of Half Baths - 1

BATHROOM

Major Defect Bathroom Doors, Windows - Door Lock, Pocket Door

Pocket door does not lock.
Condensation was noted between panes of insulated glass and the window should be replaced.Master bathroom.
Damage balance was noted. Damage to the vinyl sash was noted.
Refer to major defect at interior windows.

Safety Concern Bathroom Electric Switches and Fixtures - Ceiling, Wall

Light in the master shower did not work at time of inspection and should be evaluated and repaired.

Satisfactory Bathroom Receptacles - GFCI

Satisfactory Bathroom Walls and Ceilings - Drywall

Satisfactory Bathroom Heating Cooling - Central Sys

Satisfactory Bathroom Sink Faucets - Individual

Satisfactory Bathroom Sink Stopper - Push Pull

Service/Repair Bathroom Sink Basin - Cast Marble

The lavatory top is not secured properly to the vanity base. Use clear silicone caulk to attach it.Lower level bathroom.

Satisfactory Bathroom Sink Drain and Trap - PVC

Service/Repair Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base.Lowest level bathroom.

Satisfactory Toilet Operation - Flushes, Drains, Refills

Service/Repair Bathtub Faucets - Individual, Single Lever

Diverter would not properly seal and should be repaired.

Service/Repair Bathtub Stopper - Concealed

Master bathroom tub stopper did not seal completely.

Service/Repair Bath Showerhead - Standard , Personal

Shower head leaks when tested.Master bathroom

Satisfactory Seal Around Tub - 1 Piece Shower Tub

BATHROOM

Service/Repair **Tub Wall Encl. - Fiberglass, Ceramic**

The tub enclosure joints should be re-caulked.Master bathroom.

Service/Repair **Bathroom Ventilation - Fan**

Light/fan combo noted in bathroom and light did not work at time of inspection.Lowest level bathroom.

Satisfactory **Bathroom Floor - Ceramic**
Service/Repair **Shower Stall Walls - Fiberglass, Ceramic Tile**

Ceramic tile joints need caulking.
The fiberglass surround should be better sealed.

Satisfactory **Shower Drain - Floor Drain Stall**
Satisfactory **Shower Faucets - Single Lever**
Satisfactory **Number of Full Baths - 6**

ATTIC

**Inspection
Definition/Limitation** **Attic Accessibility - Access restricted**

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.
Some parts of the attic were not accessible.

Satisfactory **Attic Entry Access - Hatch**
Satisfactory **Attic Access Location - Hallway**
Satisfactory **Attic Structural Framing Type - Conventional**
Satisfactory **Attic Structural Framing Spacing - 16 inches on Center**
Monitor/Maintain **Attic Sheathing - Particle Board**

Some stains were noted but were not currently wet.

Satisfactory **Attic Floor Insulation - Batt**
Satisfactory **Attic Insulation Thickness - 10 inches**
Satisfactory **Attic Insulation Approx. R. Value - 30**
Satisfactory **Attic Ventilation - Soffit**

ATTIC

Satisfactory Attic Wiring - Covered with Insulation

Satisfactory Attic Vent Pipes - Vented Outside

Satisfactory Attic Exhaust - Vents Outside

Satisfactory Attic Chimney Flues - Not Visible

INTERIOR

Satisfactory Interior Heat Source - Tested

Safety Concern Interior Walls - Dry Wall

Typical drywall flaws were noted.
Some mold/mildew was noted in the master closet/bathroom and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.
Some stains were noted but were not wet at the time of inspection.

Service/Repair Interior Ceilings - Dry Wall

Typical drywall flaws were noted.
Water stains were noted but were not currently wet at the time of inspection.

Satisfactory Closets - Doors in Place

Inspection Definition/Limitation INTERIOR ROOMS - General Comment

Elevator not in the scope of the home inspection.

Service/Repair Interior Floors - Wood, Carpet, Tile

Water stains were noted at the dining room slider and were dry at time of inspection.
Some missing grout was noted at the foyer.

Satisfactory Interior Cabinets and Shelving - Accessible

Satisfactory Number of Bedrooms - 5

Major Defect Interior Fire Place 1 - Gas Log Fireplace

The pilot was not lit and the fireplace was not tested. Operation should be demonstrated before settlement.

Monitor/Maintain Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied.

Satisfactory Interior Cooling Source - Not Tested

Satisfactory Stairways - With Hand Railings

INTERIOR

Major Defect Windows - Operated

Damage balances were noted.
Condensation was noted between insulated multiple window panes.
Evidence of leakage was noted at multiple windows.
Damage safety clip was noted.
All windows should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Definition/Limitation

Inspection Description/limitation - Information

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.