



Reliable Home Inspection Service  
100 Old Kennett Rd  
Wilmington, DE 19807  
302-993-9100  
<https://www.reliablehomeinspectionsservice.com/>

Printed [REDACTED]

Inspected By  
[REDACTED]

Referral Information

Client Information [REDACTED]  
[REDACTED]

Inspected [REDACTED]

FRONT VIEW



# Inspection Summary

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## Major Defect

### GROUNDINGS

#### 0208: Driveway/Parking Lot

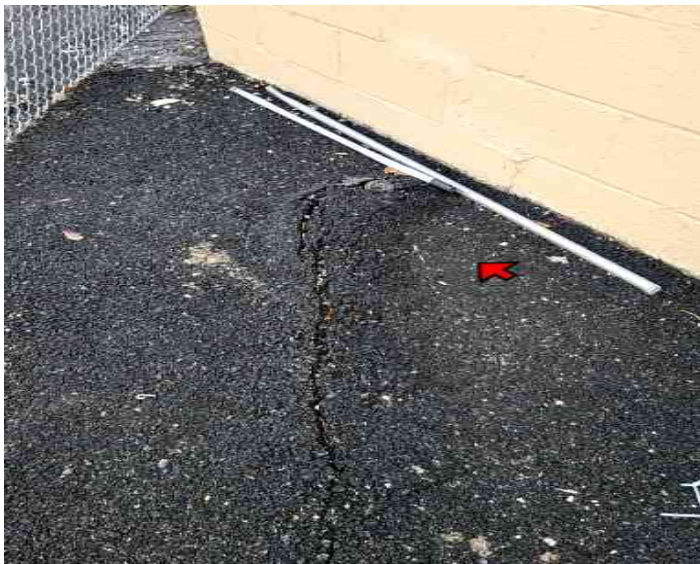
Debris limits inspection. Some cracks and settlement noted.

Uneven areas may present a tripping hazard and should be repaired to prevent injury.

Driveway should be sloped away from window wells.

Vegetation noted between parking lot and building and should be removed and better sealed.

Some areas slope towards building and should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

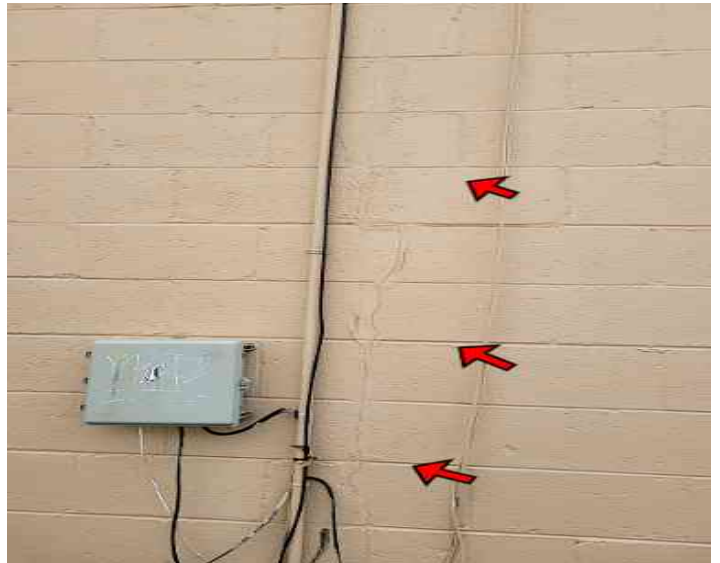
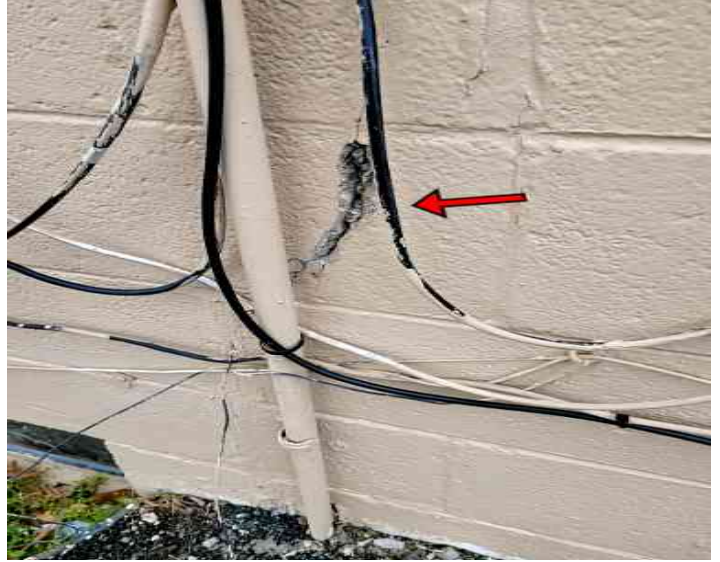


# Major Defect

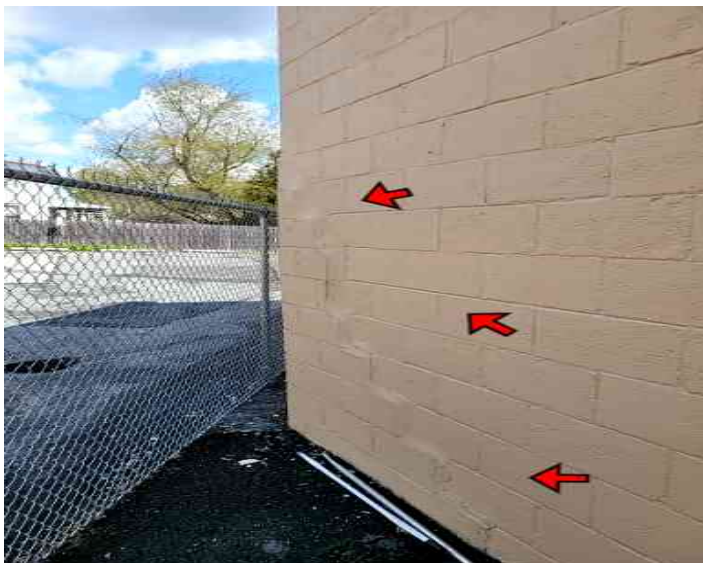
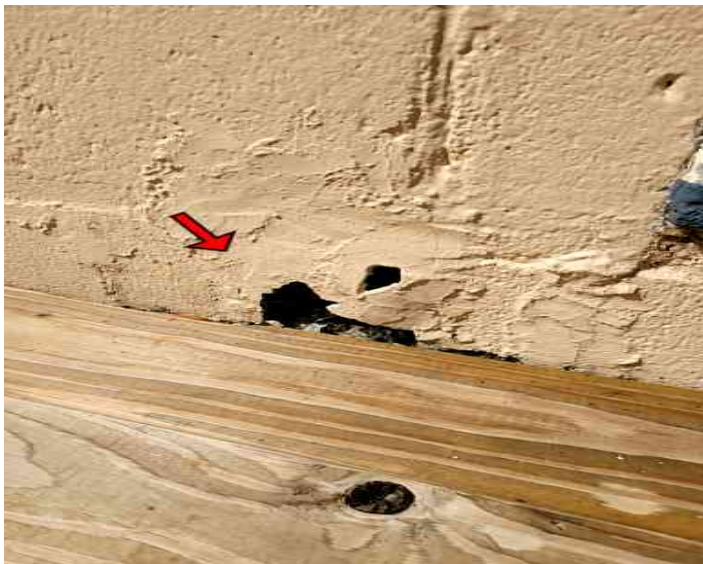
## EXTERIOR

### 0309: Masonry Walls

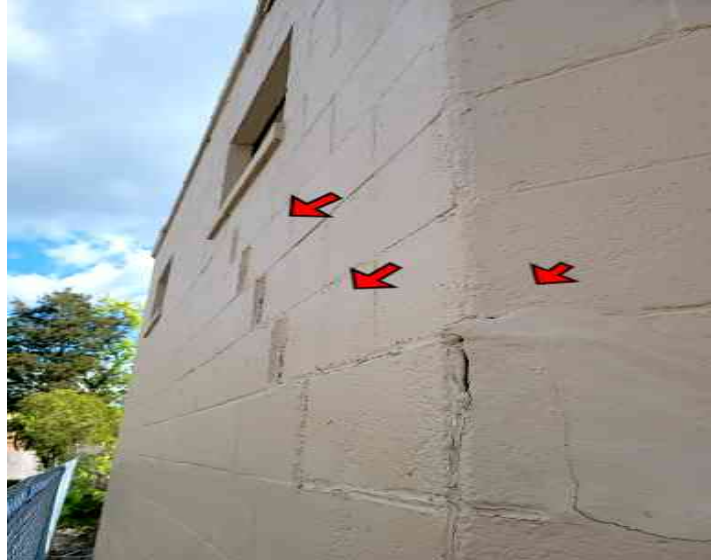
All cracks and gaps should be sealed. Some cracks and missing mortar was noted. The wall shows signs of motion. Patch work and re-cracking indicates ongoing motion. All exterior walls and structure should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.



Major Defect



## Major Defect



## ROOF

### 0505 Roof Covering Primary Type

A soft area was noted in the middle of the flat roof  
Some sealant was noted on the roof surface and will require maintenance

Some patch work was noted to roof system and should be monitored for leakage

Some bubbled areas and cracked sections were present and should be repaired Deteriorated seals and lifted seams were noted. Multiple areas of ponding were noted

The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.



# Major Defect



# Major Defect





## Major Defect



## PLUMBING

### 1009: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain. Blistering and evidence of leakage was noted. The entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.



## Major Defect



### W. HEATER

#### 1111: Temp. Pressure Relief Valve and Pipe

A current leak was noted and entire water heater system should be evaluated by qualified plumber and all needed repairs be made.



## Major Defect

### LAUNDRY

#### 1205: Laundry Sink Drain Trap

No drain installed and should be evaluated and repaired.



### BASEMENT

#### 1504: Basement Foundation Walls Primary Visible type

Some cracks and active water entry was noted and source of moisture should be identified and all needed repairs should be made.



## Major Defect



## BASEMENT

### 1506 Basement Floor

Some mud stains were noted and indicate water entry. There was standing water noted in multiple areas of the basement. Drainage should be improved and the source of the water should be identified and repaired.



## BASEMENT

### 1511: Basement Ceiling Joist Visible Primary Type

Some water stains were noted but were dry at time of inspection.

Some notched joists were noted.

Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Evidence of fire damage and charred joists were noted. There was termite damage noted to framing. The entire structural condition should be evaluated by a structural contractor or engineer and any needed repairs should be made.



Major Defect



# Major Defect

## KITCHEN

### 1703: Kitchen Ceiling

A currently wet area was noted in ceiling. The leak should be evaluated by a qualified contractor and all needed repairs should be made.



Apartment 2



Apartment 1 stain was noted but was dry at time of inspection.



Apartment 2

## Major Defect

### HALF BATH

#### 1805: Half Bath Walls and Ceilings

Drop ceilings limit inspection as not all tiles are removed.

A current leak in the half bath ceiling was noted and the source should be identified and repaired.

Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



1st floor bathroom.

### INTERIOR

#### 2106: Interior Floors

Large amount of contents limit inspection. Some damaged flooring was noted. The floor was uneven/not level. Some sloping areas were noted. Multiple areas of damaged tiles were noted on first floor and all floors should be evaluated and needed repairs be made.



Apartment 2 living room



# Major Defect



Apartment entry



Apartment 2



# Major Defect

## INTERIOR

### 2122: Windows

Condensation was noted between multiple insulated window panes all windows should be evaluated and all damaged glass replaced.



Apartment 2 bathroom



Apartment 2



Apartment 2 kitchen window

Major Defect



Apartment 2



Apartment 2



Apartment 1 kitchen. Broken glass and condensation.



Apartment 1

Major Defect



Apartment 1



Apartment 1



Apartment 1



Apartment 1

# Safety Concern

## GROUNDS

### 0203: Walks

Cracks and some settlement noted.  
Uneven areas present tripping hazard and should be repaired.



# Safety Concern

## CHIMNEY

### 0610: Chimney Cap

Loose chimney cap was noted and should be repaired.



### 0917: Inspection Sticker

No inspection sticker in sub-panel and should have been inspected to ensure installation met code at the time it was installed

## ELECTRIC

### 0919: Electrical Defaults

Some missing junction box covers were noted.



## Safety Concern

### BASEMENT

#### 1503: Basement Access

There was no hand rail noted in basement and one should be installed



### BASEMENT

#### 1510 Basement Ceiling Sub Floor Visible Primary Type

Water stains were noted but dry at time of inspection. Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

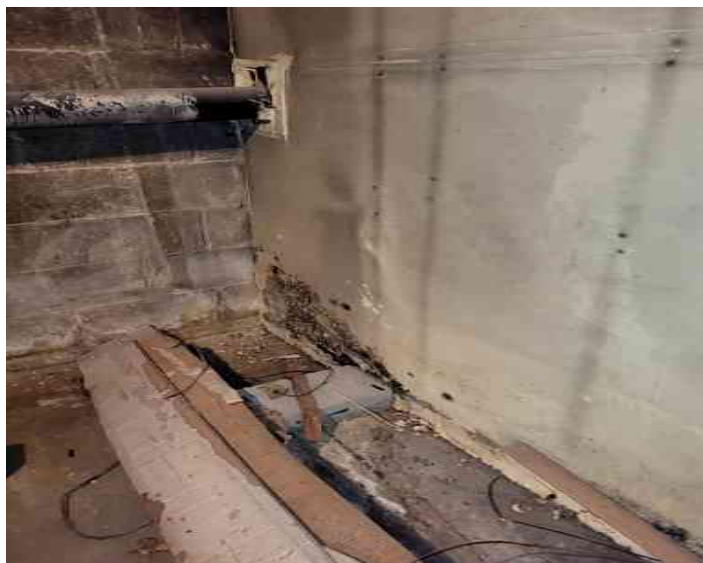


## BASEMENT

### 1513: Basement Wall Finish

Inspection limited by finished areas.

Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.





## Safety Concern

### CRAWL SPACE

#### 1609: Crawl Space Ceiling Joist

Some stains were noted but were dry at time of inspection.

Some notched floor joists noted and should be repaired.

Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



### KITCHEN

#### 1717: Exhaust Fan Hood

No fan hoods were installed at the gas stove and should be installed in both apartments.



Apartment 2

## Safety Concern

### KITCHEN

#### 1718: Range Oven

Self cleaning if on stove not part of inspection and will not be tested. Stabilizing devices should be installed to prevent movement of the stoves in both apartments.



Apartment 1

### BATHROOM

#### 1905: Bathroom Walls and Ceilings

Some stains were noted but were dry at time of inspection.

Some poorly finished areas were noted.

Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Apartment 2 access panel

# Safety Concern



Apartment 1



Apartment 2 bathroom



Apartment 1

## INTERIOR

### 2104: Interior Walls

Typical plaster/ drywall flaws noted.  
Some poorly finished areas were noted.  
Water stains were noted but were not currently wet at the time of inspection.  
Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Apartment 1



## INTERIOR

### 2105: Interior Ceilings

Typical plaster/ drywall flaws noted.

Poorly finished areas of drywall were and should be repaired. Some water damage and stains were noted but were dry at time of the inspection. Drop ceilings limit inspection.

Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.



Apartment 2



Apartment entry



Apartment 2

## Safety Concern



### INTERIOR

#### 2109: Interior Outlets

Three prong ungrounded outlets in both apartments were noted and should be evaluated and repaired.



Apartment 2 ungrounded

# Safety Concern



Apartment 2



Apartment 2 ungrounded



Apartment 1



Apartment 1



Apartment 1

# Safety Concern

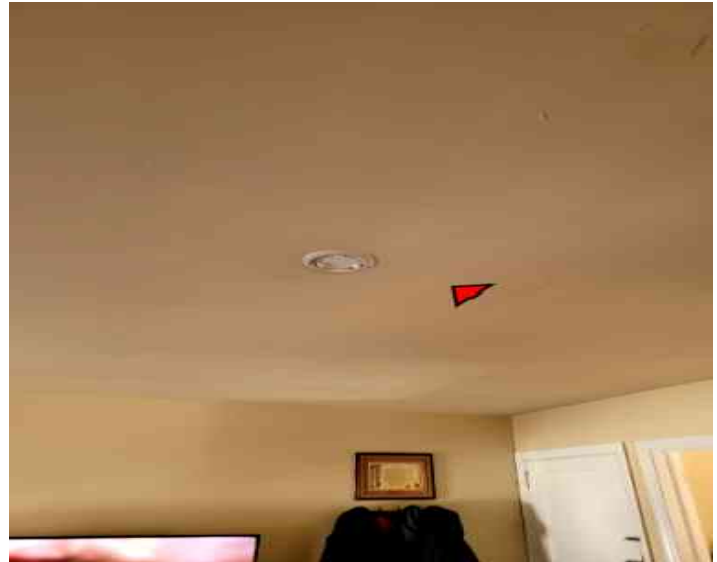
## INTERIOR

### 2117: Smoke Detectors

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.



Apartment 1



Apartment 1

## Service/Repair

## GROUND

### 0207: Decks

Some wood rot was noted.



## EXTERIOR

### 0306: Soffit\Fascia

Some loose paint and wood rot noted.



### 0311: Entry Doors

Poorly fitted back door was noted and should be evaluated and repaired.



0316: Additional Windows

Recommend window well covers.  
Rotted boarded up window was noted and should be included in exterior wall evaluation and repairs.



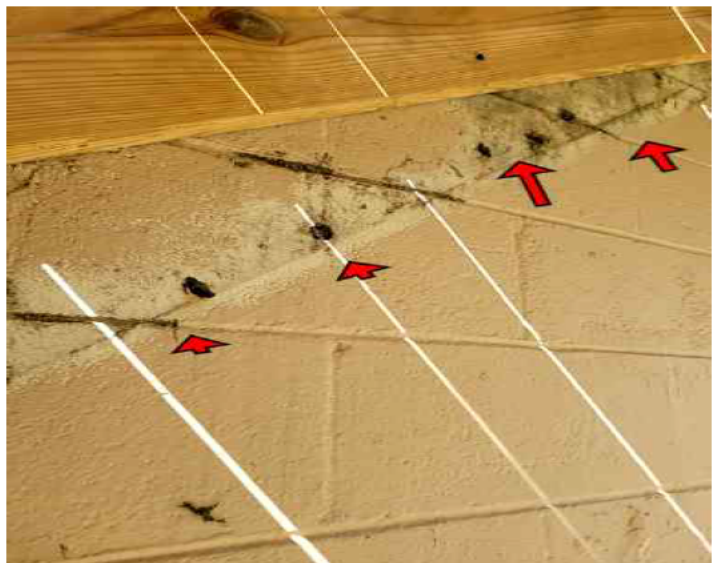
0318: Windows Storm\Screen

Some damaged and missing screens were noted.



0320: Caulking

Caulking should be improved.



#### 0405: Downspout Type

Disconnected down spout noted and should be repaired.

#### 0508: Roof Ventilation System

Damaged roof vent cover was noted.



#### 0509: Flashing

Asphalt patch used as flashings will require maintenance.

#### 0511: Plumbing Vents

Vent pipes should 12" above roof line.





0609: Chimney Top

Some cracks and open gaps were noted on chimney top.



0708: Cooling Lines

The insulation should be improved.



0918: Panel Schedule Filled in

Panel schedule Should be completed.

1114: Water Heater 2 Mfg.

Heater fuel source = Electric. Corrosion was noted at the supply piping. The piping should be replaced before major leaks develop.





### 1203: Laundry Sink

Sink should be better attached to wall.



### 1514: Basement Drainage

The sump pump would not work when tested and should be evaluated and repaired.



### 1612: Crawl Space Floor Vapor Barrier

There was no vapor barrier present and recommend one be installed



### 1702 Kitchen Walls

Some water stains were noted but were dry at time of inspection.



Apartment 1 kitchen water stains.

1708: Kitchen Cabinets

Some cabinet doors would not shut properly.



Apartment 2



Apartment 2

1809: Half Bath Sink Stopper

Missing stopper should be repaired.

1902: Bathroom Doors, Windows

Door would not close properly.



Apartment 3 bathroom door



Apartment 1

1909: Bathroom Sink Stopper

The stopper mechanism was missing.



Apartment 2

1910: Bathroom Sink Basin

Sink loose from wall and should be repaired.



Apartment 2

### 1916: Bath Showerhead

The shower head leaked when tested.



Apartment 2 showerhead

### 1920: Bathroom Floor

Some damaged flooring was noted but was dry at time of inspection and should be included in the flooring evaluation and repairs.



Apartment 2



Apartment 1 floor curling

#### 2116: Closets/ Interior Doors

Some doors would not close properly and should be repaired.



Apartment 2 bedroom

#### 0204: Steps

Some wood rot was noted.

#### 0304: Exposed Foundation Primary Visible Type

Some cracks noted.

#### 0404: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

#### 0408: Splash Blocks

Splash blocks or run off drains should be added.

#### 1604: Crawl Space Foundation Walls

Some cracks and water penetration noted.

#### 0603: Access Restricted

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

#### 0711: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

#### 1201: LAUNDRY

No appliances were installed at time of inspection.

#### 1501: BASEMENT

Inspection limited by stored items.

#### 2002: Attic Accessibility

No access to attic and it was not inspected.

#### 2101: INTERIOR ROOMS

Inspection limited by stored items







### 2111: Interior Cooling Source

The outside temperature was too low to safely test Cooling Mode.

## 2201: Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for possible defects. Unless prior consultation occurs, we cannot assist you further.



## Inspection Description/limitation

### DEFINITION/LIMITATION

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# Inspection Report Details

## GROUNDS

**Safety Concern** 0203: Walks - Concrete

Cracks and some settlement noted. Uneven areas present tripping hazard and should be repaired.

**Monitor/Maintain** 0204: Steps - Wood

Some wood rot was noted.

**Service/Repair** 0207: Decks - P.T. Wood

Some wood rot was noted.

**Major Defect** 0208: Driveway/Parking Lot - Asphalt

Debris limits inspection. Some cracks and settlement noted. Uneven areas may present a tripping hazard and should be repaired to prevent injury. Driveway should be sloped away from window wells. Vegetation noted between parking lot and building and should be removed and better sealed. Some areas slope towards building and should be evaluated by a qualified contractor and all needed repairs should be made.

**Satisfactory** 0210: Hand Rail - Wood

## EXTERIOR

**Satisfactory** 0303 Type of Building Masonry, 2 Story

**Monitor/Maintain** 0304 Exposed Foundation Primary Visible Type Cement Block

Some cracks noted

**Service/Repair** 0306: Soffit\Fascia - Aluminum, Wood

Some loose paint and wood rot noted.

**Major Defect** 0309 Masonry Walls Block

All cracks and gaps should be sealed. Some cracks and missing mortar was noted. The wall shows signs of motion. Patch work and re-cracking indicates ongoing motion. All exterior walls and structure should be evaluated by a qualified structural contractor or engineer and all needed repairs should be made.

**Satisfactory** 0310: Trim Work - Aluminum

**Service/Repair** 0311: Entry Doors - Metal

## EXTERIOR

Poorly fitted back door was noted and should be evaluated and repaired.

0314: Window Character Material - Vinyl

0315: Window Character Type - Double Hung

0316: Additional Windows - Mixed Windows

Recommend window well covers. Rotted boarded up window was noted and should be included in exterior wall evaluation and repairs.

0317: Glass - Insulated

0318: Windows Storm\Screen - MFG Screens

Some damaged and missing screens were noted.

0319: Weather Stripping - Rubber\Vinyl, Metal

0320: Caulking - Windows, Doors, Penetrations

Caulking should be improved.

## GUTTERS

0402: Inspected From - Ground, Roof

0403: Access Restricted - Not Restricted

0404: Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

0405: Downspout Type - Aluminum

Disconnected down spout noted and should be repaired.

0408: Splash Blocks - None

Splash blocks or run off drains should be added.

## ROOF

0502: How Inspected - Walk on Roof

0503: Roof Access Restricted - Not Restricted

0504: Roof Style - Flat

0505: Roof Covering Primary Type - Polymer, Rubber Membrane

## ROOF

A soft area was noted in the middle of the flat roof. Some sealant was noted on the roof surface and will require maintenance. Some patch work was noted to roof system and should be monitored for leakage. Some bubbled areas and cracked sections were present and should be repaired. Deteriorated seals and lifted seams were noted. Multiple areas of ponding were noted. The entire roof system should be evaluated by a qualified roofing contractor and all needed repairs should be made.

0506: Approx. Age - 10 thru 15

0507: Number of Layers - Unknown

0508: Roof Ventilation System - Roof

Damaged roof vent cover was noted.

0509: Flashing - Asphalt

Asphalt patch used as flashings will require maintenance.

0511: Plumbing Vents - Cast Iron

Vent pipes should be 12" above roof line.

## CHIMNEY

0602: Chimney Inspected From - Roof

0603: Access Restricted - Cap Installed

Could not view interior of chimney due to cap, caps are not removed as part of the home inspection.

0604: Chimney 1 Type - Block

0605: Chimney 1 Location - Main

0608: Flue Lining - Metal

0609: Chimney Top - Cement

Some cracks and open gaps were noted on chimney top.

0610: Chimney Cap - Steel

Loose chimney cap was noted and should be repaired.

## COOLING

0702: Cooling System 1 Brand - Goodman manufacturing

## COOLING

Satisfactory 0703 Cooling System 1 Tonnage 5 Ton

Satisfactory 0704 Cooling System 1 Approx Age 4

Satisfactory 0706: Cooling System Coils and Fins - Clean

Satisfactory 0707: Cooling System Electrical - Ext. Disconnect

Service/Repair 0708: Cooling Lines - Interior Insulation

The insulation should be improved.

Satisfactory 0709 Condensate Drain Plastic

Inspection Definition/Limitation 0711 Differential Temp 1 Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

## ELECTRIC

Satisfactory 0902: Main Electrical Service - Attached To House

Satisfactory 0903: Main Electrical Service Wire - Aluminum

Satisfactory 0904: Overhead Clearance - Est. Feet

Satisfactory 0905: Voltage Available - 110 / 220

Satisfactory 0906: Main Electrical Distribution Panel Accessibility - Typical

Satisfactory 0907: Main Electrical Distribution Panel Location - Basement

Satisfactory 0908: Main Electrical Disconnect - Breaker

Satisfactory 0909: Main Panel - 100, Other

Other = 3 separate 100 amp panels 1 panel for store/building 1 panel for apartment 1 1 panel for apartment 2

Satisfactory 0910: Sub Panel - 100, Other

Other = 100 amp sub panels in each apartment.

Satisfactory 0911: Interior Wiring Visible Primarey Type - Copper 90 percent



## ELECTRIC

- 0912 Type of Wire Visible Primary Type Romex
- 0913 Grounding Driven Rod, Water Pipe
- 0914 Breakers in Use Room for Expansion
- 0916 Sub Panel Cir in Use Room For Expansion
- 0917 Inspection Sticker Main Panel, No Inspection Sticker in Sub Panel

No inspection sticker in sub panel and should have been inspected to ensure installation met code at the time it was installed.

- 0918 Panel Schedule Filled in Not Filled Out

Panel schedule should be completed

- 0919: Electrical Defaults - Main Panel

Some missing junction box covers were noted.

- 0920 Electrical Duplex Receptacles Primary Type 3 Slotted

## PLUMBING

- 1002: Water Source - Municipal
- 1003: Municipal Main Supply Size - 3/4
- 1004: Municipal Main Supply Type - Copper
- 1005: Main Water Shut Off - Basement
- 1006: Main Gas Valve - Outside
- 1007: Interior Water Pipes Primary Visible Type - Copper
- 1008: Waste System - Municipal
- 1009: Interior Waste/Vent Pipes Primary Visible Type - Cast Iron

Most piping concealed supply and drain. Blistering and evidence of leakage was noted. The entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.

## W. HEATER

- 1101: WATER HEATER - General Comment

## W. HEATER

3rd water heater Bradford White Electric 4 years old 50 gallon

Satisfactory	1103: Water Heater 1 Mfg. - Bradford White
Satisfactory	1104: Water Heater 1 Rated BTU Per Hour - 40,000 +
Satisfactory	1105: Water Heater 1 Approx. Age - 4
Satisfactory	1106: Water Heater 1 Size - 50
Satisfactory	1107: Water Heater Fuel - Gas
Satisfactory	1108: Water Heater Flue Pipe - Direct Vent
Satisfactory	1109: Water Heater Gas Piping - Valve On Off
Satisfactory	1110: Water Heater Cold Water Valve - Present
Major Defect	1111: Temp. Pressure Relief Valve and Pipe - Present

A current leak was noted and entire water heater system should be evaluated by qualified plumber and all needed repairs be made.

Satisfactory	1113: Water Heater Exterior Jacket - OK
Service/Repair	1114: Water Heater 2 Mfg. - Bradford White

Heater fuel source = Electric. Corrosion was noted at the supply piping. The piping should be replaced before major leaks develop.

Satisfactory	1116: Water Heater 2 Approx. Age - 9
Satisfactory	1117: Water Heater 2 Size - 50

## LAUNDRY

Inspection Definition/Limitation	1201: LAUNDRY - General Comment
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No appliances were installed at time of inspection.

Service/Repair	1203: Laundry Sink - Metal
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Sink should be better attached to wall.

Satisfactory	1204: Laundry Sink Faucets - Tested
Major Defect	1205: Laundry Sink Drain Trap - Other

## LAUNDRY

No drain installed and should be evaluated and repaired.

## FURNACE

1302: Forced Air System 1 Mfg. - Other

Other = First Co.

1304: Forced Air System 1 Approx. Age - 6

1305: Forced Air System Energy Source - Electric

1306: Hot Air System - Direct Drive

1310: Distribution System Type - Up Flow

1311: Distribution System Material - Metal Duct

1312: Thermostat - Programmable

1313: Flue Piping - Single Walled

1317: Filter System - Disposable

## BOILER

1401: BOILER - General Comment

1402: Manufacture - Weil McLain

1403: Approx Age - 11

1404: Rated BTU Per Hour - 150000 or more

1405: Boiler System Energy Source - Gas

1406: Boiler System Distribution Type - Hot Water

1407: Boiler System Circulator #Pumps - 3

1408: Boiler System Thermostat - Individual

1409: Vent System/Flue - Single Wall

1410: Boiler System Controls - Temp. Pressure Relief, Limit Switch

1411: Boiler Pressure Controls - Temp. Pressure Gauge

1412: Boiler Emer. Disconnect - Switch

## BOILER

Satisfactory 1413 Boiler System Distribution Material Primary Visabl Steel

Satisfactory 1414: Boiler System Circulator Zone Number - 2

Satisfactory 1415: Boiler System Circulator Pipe Gravity - Original

## BASEMENT

**Inspection  
Definition/Limitation** 1501: BASEMENT - General Comment

Inspection limited by stored items

Satisfactory 1502: Basement Type - Combination Crawlspace

**Safety Concern** 1503: Basement Access - Interior Stairs

There was no hand rail noted in basement and one should be installed.

**Major Defect** 1504 Basement Foundation Walls Primary Visible type Cement Block

Some cracks and active water entry was noted and source of moisture should be identified and all needed repairs should be made.

**Major Defect** 1506 Basement Floor Cement

Some mud stains were noted and indicate water entry There was standing water noted in multiple areas of the basement. Drainage should be improved and the source of the water should be identified and repaired.

Satisfactory 1507 Basement Bridging Wood

Satisfactory 1508 Basement Structural Columns Visible Primary Type Steel, Bearing Wall

Satisfactory 1509 Basement Structural Beams Visible Primary Type Steel

**Safety Concern** 1510 Basement Ceiling Sub Floor Visible Primary Type Sheathing BD

Water stains were noted but dry at time of inspection Some mold/mildew was noted in the lowest level and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair

**Major Defect** 1511: Basement Ceiling Joist Visible Primary Type - Conventional

## BASEMENT

Some water stains were noted but were dry at time of inspection. Some notched joists were noted. Some mold/mildew was noted and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair. Evidence of fire damage and charred joists were noted. There was termite damage noted to framing. The entire structural condition should be evaluated by a structural contractor or engineer and any needed repairs should be made.

**Safety Concern** 1513: Basement Wall Finish - Other, Drywall

Inspection limited by finished areas. Some mold/mildew was noted in lowest level and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

**Service/Repair** 1514: Basement Drainage - Sump Pump

The sump pump would not work when tested and should be evaluated and repaired.

## CRAWL SPACE

**Satisfactory** 1602: Crawl Space Type - Combination

**Satisfactory** 1603: Crawl Space Access - Via Basement

**Monitor/Maintain** 1604: Crawl Space Foundation Walls - Cement Block

Some cracks and water penetration noted.

**Satisfactory** 1605: Crawl Space Bridging - Wood

**Satisfactory** 1606: Crawl Space Structural Columns - Cement Block

**Satisfactory** 1607: Crawl Space Structural Beams - Steel

**Satisfactory** 1608: Crawl Space Ceiling Sub Floor - Sheathing BD

**Safety Concern** 1609: Crawl Space Ceiling Joist - Conventional

Some stains were noted but were dry at time of inspection. Some notched floor joists noted and should be repaired. Some mold/mildew was noted in the crawl space and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

## CRAWL SPACE

1611: Crawl Space Ventilation - None

1612: Crawl Space Floor Vapor Barrier - Not Present

There was no vapor barrier present and recommend one be installed.

1613: Crawl Space Floor Type - Dirt

1614: Crawl Space Drainage - None

## KITCHEN

1702: Kitchen Walls - Drywall, Plaster

Some water stains were noted but were dry at time of inspection.

1703: Kitchen Ceiling - Drywall, Plaster

A currently wet area was noted in ceiling. The leak should be evaluated by a qualified contractor and all needed repairs should be made.

1704: Kitchen Floors - Other

Other = Laminate flooring

1705: Kitchen Heating Source - Other

Other = Radiator

1706: Kitchen Cooling Source - Window

1707: Kitchen Doors Windows - Tested

1708: Kitchen Cabinets - Custom Wood

Some cabinet doors would not shut properly.

1709: Kitchen Sink - Stainless

1710: Kitchen Sink Faucet - Single Lever

1712: Kitchen Drain and Trap - PVC

1713: Garbage Disposal - None

1716: Trash Compactor - None

1717: Exhaust Fan Hood - None

No fan hoods were installed at the gas stove and should be installed in both apartments.

## KITCHEN

**Safety Concern** 1718 Range Oven Free Standing

Self cleaning if on stove not part of inspection and will not be tested. Stabilizing devices should be installed to prevent movement of the stoves in both apartments

Satisfactory 1719: Surface Cooktop - Gas

Satisfactory 1720: Kitchen Wall Receptacles - GFI Protected

Satisfactory 1721: Kitchen Switches Fixtures - Track

## HALF BATH

Satisfactory 1802: Half Bath Doors and Windows - Door/ Lock

Satisfactory 1803: Half Bath Electric Switches and Fixtures - Wall

Satisfactory 1804: Half Bath Receptacles - GFCI

**Major Defect** 1805: Half Bath Walls and Ceilings - Drywall, Plaster, Drop Ceiling

Drop ceilings limit inspection as not all tiles are removed. A current leak in the half bath ceiling was noted and the source should be identified and repaired. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

Satisfactory 1806: Half Bath Exhaust System - Elect Fan Outdoors

Satisfactory 1807: Half Bath Heating and Cooling - Central

Satisfactory 1808: Half Bath Sink Faucets - Individual

**Service/Repair** 1809: Half Bath Sink Stopper - None installed

Missing stopper should be repaired.

Satisfactory 1810: Half Bath Sink Basin - Porcelain

Satisfactory 1811: Half Bath Sink Drain and Trap - Chrome

Satisfactory 1812: Toilet Bowl and Tank - 2 Piece

Satisfactory 1813: Toilet Operation - Flushes, Drains, Refills

Satisfactory 1814: Half Bath Ventilation - Fan

## HALF BATH

1815: Half Bath Floor - Vinyl Tile

1816: Number of Half Baths - 1

## BATHROOM

**Service/Repair** 1902: Bathroom Doors, Windows - Door/ Lock, Window

Door would not close properly.

1903: Bathroom Electric Switches and Fixtures - Wall

1904: Bathroom Receptacles - GFCI

**Safety Concern** 1905: Bathroom Walls and Ceilings - Plaster, Drywall

Some stains were noted but were dry at time of inspection. Some poorly finished areas were noted. Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

1906: Bathroom Exhaust System - Window

1907: Bathroom Heating Cooling - Other

Other = Radiator

1908: Bathroom Sink Faucets - Single Lever

**Service/Repair** 1909: Bathroom Sink Stopper - Lever

The stopper mechanism was missing.

**Service/Repair** 1910: Bathroom Sink Basin - Cast Marble

Sink loose from wall and should be repaired.

1911: Bathroom Sink Drain and Trap - PVC

1912: Toilet Bowl and Tank - 2 Piece

1913: Toilet Operation - Flushes, Drains, Refills

1914: Bathtub Faucets - Single Lever

1915: Bathtub Stopper - Concealed

**Service/Repair** 1916: Bath Showerhead - Personal



## BATHROOM

The shower head leaked when tested.

1918: Tub Wall Encl. - Fiberglass

1919: Bathroom Ventilation - Window

1920: Bathroom Floor - Vinyl

Some damaged flooring was noted but was dry at time of inspection and should be included in the flooring evaluation and repairs.

1922: Shower Drain - Tub

1923: Shower Faucets - Tub

1924: Number of Full Baths - 2

## ATTIC

2002: Attic Accessibility - Not Accessible

No access to attic and it was not inspected.

## INTERIOR

2101: INTERIOR ROOMS - General Comment

Inspection limited by stored items

2103: Number of Bedrooms - 1

2104: Interior Walls - Plaster, Dry Wall

Typical plaster/ drywall flaws noted. Some poorly finished areas were noted. Water stains were noted but were not currently wet at the time of inspection. Some mold/mildew was noted on lower level of wall and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

2105: Interior Ceilings - Plaster, Dry Wall, Acoustic Tile

## INTERIOR

Typical plaster/ drywall flaws noted. Poorly finished areas of drywall were and should be repaired. Some water damage and stains were noted but were dry at time of the inspection. Drop ceilings limit inspection. Some mold/mildew was noted and should be evaluated and cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost to cleanup/repair.

**Major Defect** 2106: Interior Floors - Vinyl, Wood

Large amount of contents limit inspection. Some damaged flooring was noted. The floor was uneven/not level. Some sloping areas were noted. Multiple areas of damaged tiles were noted on first floor and all floors should be evaluated and needed repairs be made.

2107: Interior Switches - Sample Number Test

**Safety Concern** 2109: Interior Outlets - Three Prong Ungrounded, Two Prong Ungrounded

Three prong ungrounded outlets in both apartments were noted and should be evaluated and repaired.

2110: Interior Heat Source - Tested

**Inspection Definition/Limitation** 2111: Interior Cooling Source - Not Tested

The outside temperature was to low to safely test Cooling Mode.

2112: Interior Cabinets and Shelving - Accessible

**Service/Repair** 2116: Closets/ Interior Doors - Some Doors Would not Close Properly

Some doors would not close properly and should be repaired.

**Safety Concern** 2117: Smoke Detectors - Too Few

Missing or too few noted, smoke detectors should be checked the day the home is occupied, recommended and required in some areas to have one smoke detector in each bedroom and one in hall with in 15 feet of the bedroom doors and one on each of the remaining floors including basement. A CO detector should be installed on the bedroom floor these are minimums.

**Major Defect** 2122: Windows - Operated

Condensation was noted between multiple insulated window panes all windows should be evaluated and all damaged glass replaced.

2123: GFCI Rest - Reset

# INTERIOR

## Inspection Description/limitation

### DEFINITION/LIMITATION

#### INSPECTION DEFINITION/LIMITATION

Inspection Definition/Limitation - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.